

Planning Justification Report

Zoning By-law Amendment

506 Quaker Road

City of Welland

July 25, 2025

Upper Canada Consultants

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St. Catharines, ON, L2W 1A3



UCC File No. 2180

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1.0 - INTRODUCTION

Upper Canada Consultants has been retained by 2861238 Ontario Inc. to prepare a Planning Justification Report for a Zoning By-law amendment made for the lands municipally addressed as 506 Quaker Road in the City of Welland, Regional Municipality of Niagara.

The need for a Planning Justification Report was identified through the pre-consultation meeting held on September 5th, 2024. The pre-consultation notes are attached as **Appendix II** of this report.

The intent of this Planning Justification Report is to provide a detailed description of the proposal and to demonstrate how the applications comply with the *Planning Act*, are consistent with the relevant policies of the Provincial Planning Statement, and conform with the relevant policies of the Niagara Official Plan, the City of Welland Official Plan and the City of Welland Zoning By-law.

2.0 - SITE CONTEXT

The subject lands are municipally addressed as 506 Quaker Road in the City of Welland, Region of Niagara. These lands are described legally as PT TWP LOT 175. These lands will be referred to as the “subject lands” in this Planning Justification Report.

The subject lands are rectangular in shape with a lot area of 0.569 hectares. The subject lands front onto both Quaker Road and Rice Road with a frontage of 65.23 meters onto Quaker Road and 97.52 meters onto Rice Road. The subject lands are currently zoned as Rural Residential and contain vacant residential land. **Figure 1** below shows an aerial image of the subject lands.

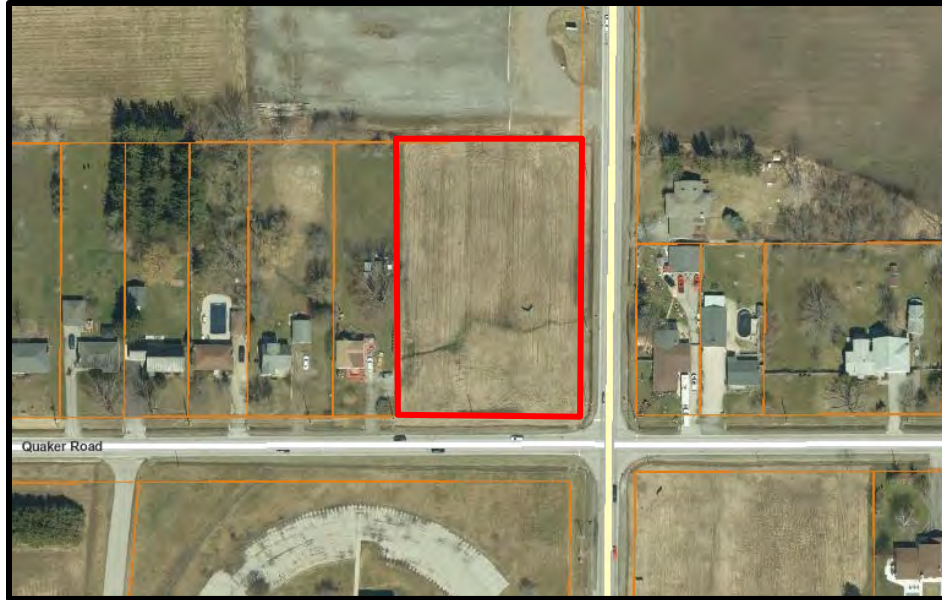


Figure 1 – aerial image of subject lands

The surrounding lands contain the following uses:

- North:** Community Open Space, Agricultural
- East:** Rural Residential, Agricultural
- South:** Health and Wellness, Community Institutional
- West:** Rural Residential, Residential Low Density 1

North of the subject lands is a vacant lot designated for residential land development. East of the subject lands is Rural Residential lots containing single family detached dwellings and vacant agricultural land used for farming purposes. South of the subject land is the Niagara District Catholic School board. West of the subject lands are rural residential lots with single family dwelling units, and a low density residential neighbourhood with single family detached dwelling units.

The subject lands have frontage along Rice Road and Quaker Road, which are classified as arterial roads on Schedule E of the City of Welland Official Plan. This segment of Rice Road is owned by the Region of Niagara.

The subject lands are located near key transportation routes, including Highway 406, and are also serviced by transit bus stops on Rice Road and Quaker Road.

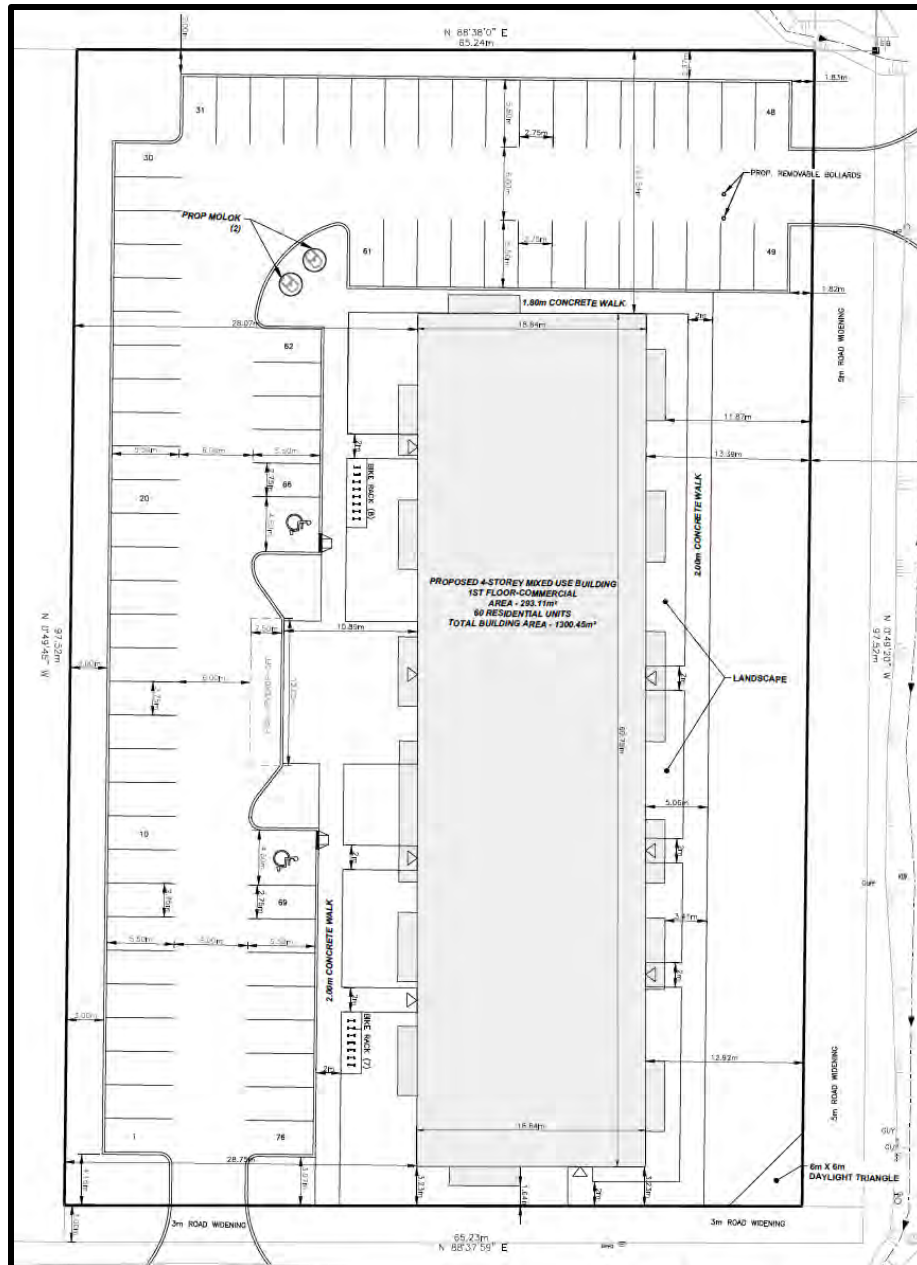
3.0 - PROPOSAL

This application proposes to re-zone the subject property and bring the lands into conformity with the Northwest Welland Secondary Plan's "Mixed Use" designation. This will allow for the construction of a four-storey mixed-use apartment building. This building would feature

commercial and residential units on the first floor, and 60 residential dwelling units above. The building will have a total area of 1300.45 meters squared. The first-floor commercial units will have a total area of 293.11 meters squared. There will be 76 surface parking spaces available, including 2 accessible parking spaces. Refer to the conceptual elevation and concept plan from **Appendix I** and **Appendix II** which is included as **Figure 2** and **Figure 3** below.



Figure 2 – aerial image of subject lands



The ground floor of the proposed mixed-use apartment building will contain 3 commercial units, 2 one-bedroom units, 3 studio units and 1 two-bedroom units, with a total of 6 residential units for the ground floor. The remaining floors will contain 8 one-bedroom units, 4 one-bedroom plus units, 1 studio unit, 3 two-bedroom units and 2 two-bedroom plus units, for a total of 18 residential units per floor. In total, there will be 60 units for the proposed development. **Figure 4** and **Figure 5** show excerpts from **Appendix III** which shows the proposed architectural floor plans for the development.

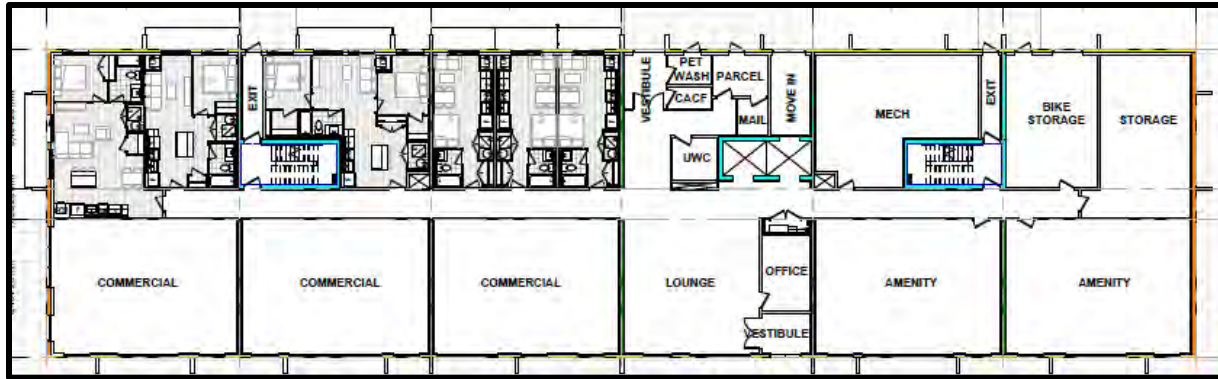


Figure 4 – excerpt from Appendix III – Ground Floor Layout



Figure 5 – excerpt from Appendix III – Typical Floor Layout

4.0 – REQUIRED APPLICATIONS

A pre-consultation meeting pertaining to this development proposal occurred on September 5th, 2025. City of Welland staff confirmed at that meeting that an application for Zoning By-law Amendment would be required to permit the proposed development.

The site development will be subject to future Site Plan applications where technical development aspects of the development and site design details will be reviewed.

As requested by the City and review agencies, a complete application submission Zoning By-law Amendment application must include:

- Conceptual Site Plan
- Planning Justification Report
- Functional Servicing Report/Stormwater Management Report
- Stage 1-2 Archaeological Assessment

ZONING BY-LAW AMENDMENT

Section 34 of the *Planning Act* grants municipal councils the authority to pass Zoning By-laws to regulate the use of the land within a municipality. Amendments to such By-laws are permitted pursuant to Section 34(10) of the *Planning Act*.

The submitted Zoning By-law Amendment seeks to re-zone the subject property from Rural Residential (RR) Zone to Community Commercial Corridor (CC2) Zone. This Zone will support the proposed 4-storey mixed use apartment dwelling on the site. Refer to section 6.5 of this Planning Report for more details about the City of Welland Zoning By-law.

5.0 – SUPPORTING STUDIES AND REPORTS

A summary of key findings of the reports and studies which have been submitted for the subject applications is provided below. The original reports should be consulted for complete information.

ARCHAEOLOGICAL ASSESSMENT

Detritus were retained on behalf of the applicant to conduct a Stage 1-2 archaeological assessment. The Stage 1 phase indicated that portions of the Study Area exhibited moderate to high potential for the identification and recovery of archaeological resources. A Stage 2 assessment was subsequently recommended for the Study Area. The Stage 2 consisted of a field plough and pedestrian survey at five-metre intervals, and no archaeological resources were observed. Based on the results of the Stage 2, no further archaeological assessment of the Study Area was recommended. The site was subsequently submitted to the Ministry of Citizenship and Multiculturalism and entered into the Ontario Public Register of Archaeological Reports and issued an acknowledgement letter on October 1, 2024.

FUNCTIONAL SERVICING REPORT

Upper Canada Consultants was retained by 2861238 Ontario Inc. to prepare a functional servicing report in conjunction with the applications for the proposed mixed-use residential condominium development located at 506 Quaker Road in the City of Welland.

The objectives of the report are as follows:

1. Identify domestic and fire protection water servicing needs for the site;
2. Identify sanitary servicing needs for the site; and,
3. Identify stormwater management needs for the site.

Based on the comments and design calculations provided for the subject lands within the report, the following summaries and recommendations were made:

1. The existing municipal watermain system is expected to have adequate capacity to provide both domestic and fire protection water supply for the subject lands.
2. The receiving 300mm diameter municipal sanitary sewer, and 750mm diameter regional trunk sewer are expected to have adequate capacity to service the subject lands.
3. Stormwater quantity controls up to and including the 5-year design storm event can be provided with on-site storm sewer storage and a 200mm diameter orifice.
4. 100-year quantity controls are not considered necessary.
5. A Hydroworks HD5 Oil/Grit Separator can provide 80% TSS Removal for the subject lands.

Based on the above and the accompanying calculations, there exists sufficient municipal infrastructure for this development.

6.0 - POLICY REVIEW

Applications within the City of Welland are subject to the *Planning Act*, the 2024 Provincial Planning Statement, the 2022 Region of Niagara Official Plan, the 2019 City of Welland Official Plan, and the City of Welland Zoning By-law no. 2017-117.

6.1 - PLANNING ACT

The *Planning Act* prescribes the regulations for land use planning to be used by all of Ontario. The *Planning Act* outlines matters of provincial interest that planning authorities must have regard for when developing land.

SECTION 2 – PROVINCIAL INTERESTS

Section 2 of the *Planning Act* outlines the matters of Provincial interest which planning authorities must have regard for when considering planning applications. These matters include the following:

- a) *the protection of ecological systems, including natural areas, features and functions;*
- b) *the protection of agricultural resources of the province;*
- c) *the conservation and management of natural resources and the mineral resource base;*
- d) *the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;*
- e) *the supply, efficient use and conservation of energy and water;*

- f) the adequate provision and efficient use of communication, transportation, sewage and water services and water management systems;*
- g) the minimization of water;*
- h) the orderly development of safe and healthy communities;*
- i) the adequate provision and distribution of educational, health, social, cultural and recreational facilities;*
- j) the adequate provision of a full range of housing, including affordable housing;*
- k) the adequate provision of employment opportunities;*
- l) the protection of the financial and economic well-being of the province and its municipalities;*
- m) the co-ordination of planning activities of public bodies;*
- n) the resolution of planning conflicts involving public and private interests;*
- o) the protection of public health and safety;*
- p) the appropriate location of growth and development;*
- q) the promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians;*
- r) the promotion of built form that,*
 - i) is well designed*
 - ii) Encourages a sense of place, and*
 - iii) Provides for public spaces that are of high quality, safe, accessible, attractive and vibrant*
- s) The mitigation of greenhouse gas emissions and adaptation to a changing climate.*

The proposed application has regard for d), f), h), j), k) p) and r) of the *Planning Act* as follows:

- d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;*

Detritus prepared a Stage 1 & 2 Archaeological Assessment, which found that the subject site exhibited no potential for archaeological findings. The subject development will therefore have no negative impact on the preservation and conservation of areas of archaeological interest.

- f) the adequate provision and efficient use of communication, transportation, sewage and water services and water management systems;*

The subject lands are accessible from two municipal roadways (Rice Road and Quaker Road), public transit, and have access to municipal services, including watermains, sanitary and storm sewers. As outlined in the Functional Servicing Design Brief prepared by Upper Canada

Consultants., the development will efficiently use these existing municipal services to support the development.

h) the orderly development of safe and healthy communities;

The orderly development of safe and healthy communities is achieved through the development of the subject lands with a mix of commercial and residential apartment dwellings. The proposed development can be supported by existing municipal services, public transportation, arterial roadways and highways. The site design and building layout also ensures the orderly development of the site and provides for safe access to the property for both pedestrian and vehicular movements.

j) the adequate provision of a full range of housing, including affordable housing;

The application proposes 60 new residential apartment dwelling units on the subject lands. Currently, the property is vacant. The surrounding area is predominantly mixed, with single-detached, institutional and agricultural. The introduction of mixed-use apartment dwellings will add variety to the housing choices in the immediate area. Generally, apartment dwelling units at this higher rate of supply can be more affordable than detached dwellings, and when supply of housing is increased, it allows for better affordability in the market.

k) the adequate provision of employment opportunities;

The proposed commercial use creates the opportunity to generate employment on site. This will be an increase over the current employment yield.

p) the appropriate location of growth and development;

The subject lands are within the Urban Area of the Region of Niagara and part of the Northwest Secondary Plan Area. The use of a mixed-use apartment building within these areas is appropriate and the support of this development will provide housing options for this growing area. Therefore, the application has regard for the appropriate location of growth and development.

r) the promotion of built form that,

iv) is well designed

v) Encourages a sense of place, and

vi) Provides for public spaces that are of high quality, safe, accessible, attractive and vibrant

The proposed building is oriented towards the corner of Rice and Quaker Roads, which establishes a prominent corner presence and enhances the streetscape. Its contemporary design features clean lines, a minimalist palette, extensive glazing, and balconies. Commercial spaces will activate Rice Road, establishing a distinct character for the street. This enhanced corner presence will cultivate a sense of place and define the emerging neighborhood.

For these reasons, the submitted application has regard for matters of provincial interest consistent with the *Planning Act*.

6.2 - 2024 PROVINCIAL PLANNING STATEMENT

The Provincial Planning Statement (PPS) provides policy direction on the matters of Provincial interest delineated under Section 2 of the *Planning Act (R.S.O 1990)*, and sets the policy framework for regulating the development and use of land. The *Planning Act* states that all planning decision are requires to be consistent with the Provincial Planning Statement.

CHAPTER 2 – BUILDING HOMES, SUSTAINING STRONG AND COMPETITIVE COMMUNITIES

Chapter 2 of the PPS establishes the framework for growth and development in the province.

Planning for People and Homes (PPS 2.1)

Section 2.1 of the PPS provides guidance for population forecasts, and requires municipalities and planning authorities to provide sufficient land to accommodate an appropriate range and mix of land uses to meet project needs for a time horizon of at least 20 years, but not more than 30 years, informed by provincial guidance. To provide for this appropriate and mix of housing options and densities, planning authorities are to maintain at all times the ability to accommodate residential growth for a minimum of 15 years lands which are designated and available for residential development, and maintain at all times land with servicing capacity for area where new development is to occur that is sufficient to provide a three-year supply of residential units through lands suitable zoned, including units in draft approved or registered plans.

The applications are consistent with the direction of Section 2.1 of the PPS as they facilitate the development of additional housing opportunities on serviced urban lands within a Secondary Plan Area that is anticipated and planned for growth and development.

Housing (PPS 2.2)

Section 2.2 of the PPS requires municipalities and planning authorities to provide for an appropriate range and mix of housing options and densities required to meet projected market-based and affordable housing needs of current and future residents of the regional market

area. This is to be achieved through permitting all housing options, all types of residential intensification, and directing developments to areas with appropriate levels of infrastructure and public service facilities that are, or will be, available to support current and projected needs.

Tables 2-1 and 2-2 of the Niagara Official Plan forecasts that the City of Welland will have a population of 83,000 people by 2051, and require 10,440 units – or a 75% intensification rate. This anticipated growth must be supported by an increase in housing supply and a range and mix of dwelling forms of different affordability ranges.

The applications specifically facilitate the development of sixty (60) new residential dwellings within the City of Welland. These units will consist of apartment units, and support the growth of housing opportunities as prescribed by the PPS, as well as the Regional and local Official Plan.

Policy 2.2 discusses how planning authorities shall provide housing and Policy 2.3.1 discusses general requirements for settlement areas within the province. These sections outline how settlement areas should be used for growth and development and state the following:

2.2) Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by supporting the following:

c) promoting densities for new housing which efficiently use land, resources infrastructure and public service facilities, and support the use of active transportation;

2.3.1.2) Land use patterns within settlement areas should be based on densities and a mix of land uses which:

a) Efficiently use land and resources;

2.3.1.3) Planning authorities shall support general intensification and redevelopment to support the achievement of complete communities, including planning for a range and mix of housing options and privatizing planning and investment in the necessary infrastructure and public service facilities.

The proposed development aligns with current policies by diversifying housing options for both current and future residents within the surrounding area. Located within the Urban Area of the Region of Niagara, it represents an appropriate site for growth and development. This project will help bring the area closer to becoming a complete community by offering a range of housing types and options, with the mixed-use apartment building addressing both residential and commercial needs. The submitted application is consistent with the Provincial Planning Statement's matters of provincial interest.

6.3 – REGION OF NIAGARA OFFICIAL PLAN (2022)

As of March 31, 2024, the Niagara Official Plan became an official plan of the City of Welland and is in effect. The Niagara Official Plan provides a comprehensive and long-range planning vision for the Regional Municipality of Niagara to the year 2051. The Plan's focus is primarily on implementing the Provincial Policy Statement and other Provincial Plans and Guidelines, and providing regional-level land use planning direction on growth, the natural environment, infrastructure and other attributes or circumstances unique to Niagara.

The Niagara Official Plan (NOP) contains the Regional level growth policy direction for Niagara Region and the twelve (12) local municipalities inclusive of population and employment forecasts, intensification targets and specific locations and methods for development.

According to Schedule B of the Niagara Official Plan (Regional Structure), the subject lands are located within the St. Catharines Settlement Area Boundary and within the Delineated Built-up Area. The approximate geographic location of the subject lands is visually demonstrated in **Figure 6** with a Red Star.

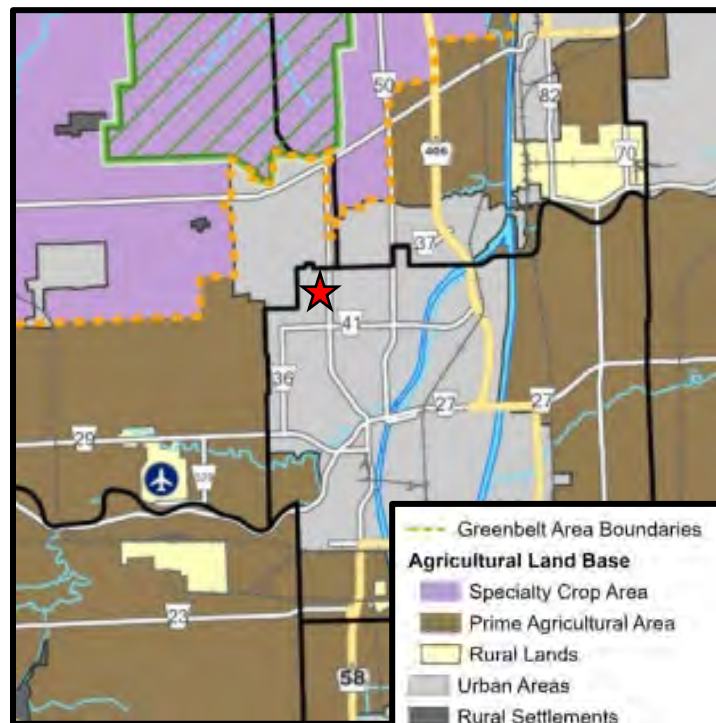


Figure 6 – Schedule F – Niagara Official Plan

POLICY 2.2.1 – MANAGING URBAN GROWTH

Policy 2.2.1. in the NOP discusses planning tools and responsibilities when it comes to managing urban growth, Policy 2.2.1.1 states the following:

Development in urban areas will integrate land use planning and infrastructure planning to responsibly manage forecasted growth and to support:

- b. a compact built form, a vibrant public realm, and a mix of land uses, including residential uses, employment uses, recreational uses and public service facilities, to support the creation of complete communities.*
- c. a diverse range and mix of housing types, unit sizes, and densities to accommodate current and future market-based and affordable housing needs.*
 - i. the development of a mix of residential built forms in appropriate locations, such as local growth centres, to ensure compatibility with establishes residential areas.*

The proposed applications will conform to the policies listed above, the apartment building will increase the density of the surrounding area and support the creation of complete communities by increasing the type of units offered in this residential neighbourhood. The addition of the 3 commercial units within the area will help provide employment for the increase of residents in the area, establishing a more complete community.

SECTION 2.3 – HOUSING

Policy 2.3 of the NOP discusses the provision and supply of housing. A diverse housing stock with a range of tenures, sizes, types and supports should be made available to meet the needs of the community. The objectives of this section are as follows:

- a. provide a mix of housing options to address current and future needs*
- b. provide more affordable and attainable housing options within our communities*
- c. plan to achieve affordable housing targets through land use and financial incentive tools*

The proposed applications will conform to the policies listed above, the apartment building will provide a larger range and mix of housing and unit types addressing the needs of the current and future residents. By adding more housing to this region, the housing in this area will become more attainable and affordable helping the City to achieve affordable housing targets.

For these reasons, the submitted applications are consistent with the Niagara Official Plan.

6.4 – CITY OF WELLAND OFFICIAL PLAN (2019)

The City of Welland Official Plan contains land use policies which implement the City's long-term growth management goals. The intent of the Official Plan is to guide land use and development in the City of Welland as to ensure orderly and efficient growth to meet Provincial and Regional growth targets while maintaining and protecting natural heritage and agricultural lands. The subject lands are within the Northwest Secondary Plan and designated as Mixed Use Residential within this plan as per Schedule G. An excerpt of this plan is shown in **Figure 7** below.

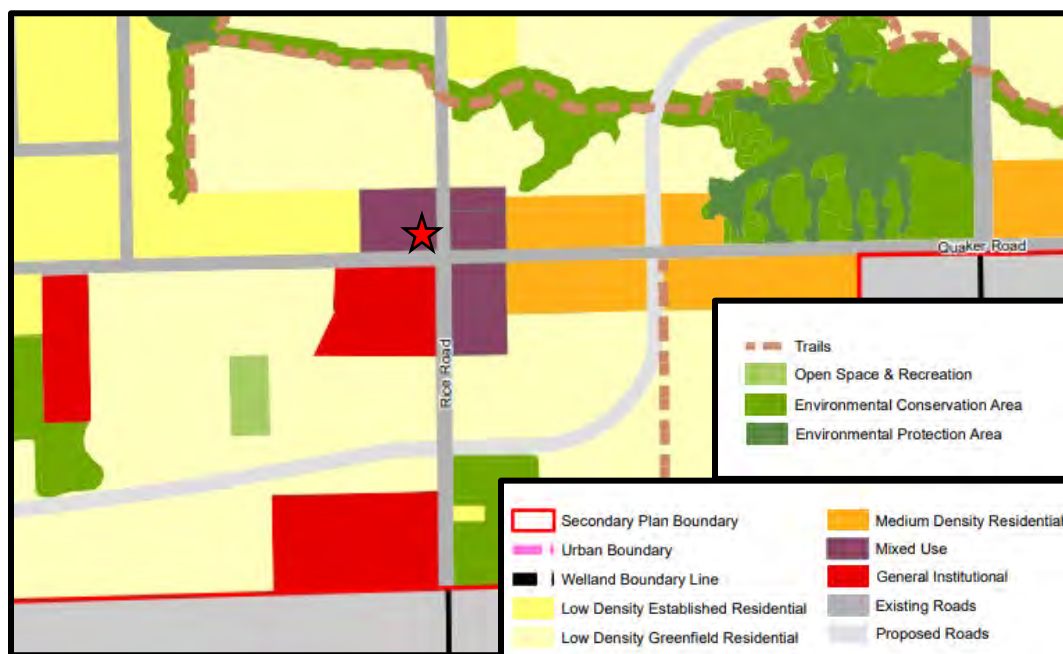


Figure 7 – excerpt from Schedule G – Northwest Welland Secondary Plan

THE NORTHWEST SECONDARY PLAN (NWSP)

The vision and goals for the Northwest Area of Welland is listed in section 7.3.1.5 of the Northwest Secondary Plan (NWSP). Following section 7.3.1.5, the NWSP discusses the planning function and permitted uses of each designation. The requirements for Mixed-use designation are listed below.

7.3.1.5) Overtime, Northwest Welland is envisioned to evolve into a complete community that will accommodate future growth and development in the City in a manner that respects the existing character and built form of the area, as well as the natural environment.

The intended function of the Mixed-Use designation located at the corner of Quaker Road and Rice Road is to create a central mixed-use node that will provide a variety of retail opportunities to serve the needs of local residents living in close proximity to the area in a pedestrian and transit-oriented manner. The function of the Mixed-Use designation is also to provide opportunities for a range of higher density residential housing.

The development of one or more privately-owned publicly accessible urban squares is encouraged at the intersection of Quaker Road and Rice Road. This space is envisioned to provide an internal focal point for the area and function as a public gathering space servicing the immediate neighbourhood and any visitors to the area.

The proposed re-zoning implements the NWWSP designation, and thereby supports the goals and requirements outlined within the plan. The development of a mixed-use apartment building will support the items stated above by furthering Welland's goal of creating a complete community, which promotes walkability, and access to essential services and amenities. The proposed development will provide three commercial units and 60 residential units, and will provide for the future growth that is to occur within the Northwest Area of Welland.

The proposal will support the intended function of a mixed-use designation as the three commercial units will provide for the retail needs of the local residents and provide small employment opportunities for residents in the area.

6.5 CITY OF WELLAND URBAN DESIGN GUIDELINES

The subject application has regard for the following City of Welland Urban Design Guideline principles:

- Establish Appropriate Built Form & Architecture
- Cultivate Identity & Sense of Place

Establish Appropriate Built Form & Architecture

The Guidelines support establishing appropriate built form and architecture through smooth height transitions, a mix of densities that concentrates higher densities near major intersections, while aligning with local market demands and existing urban fabric. The development meets the Guidelines, as the proposed housing is at an appropriate scale for the area, with the building situated towards the intersection of Rice and Quaker, and appropriately sited to avoid overlook or privacy concerns with the adjacent low-density residential development.

Cultivate Identity & Sense of Place

The Guidelines encourage the expansion of physical elements that contribute to a stronger sense of place throughout the city. The development aligns with the guidelines by implementing the NWWSP designation to create a Mixed-Use node, which establishes a focal point at the intersection of Rice and Quaker, and enhances the character of the surrounding neighborhoods, creating an strong sense of place.

6.6 NORTHWEST WELLAND URBAN DESIGN GUIDELINES

The Northwest Welland Urban Design Guidelines are intended to support the vision and objectives of the Secondary Plan included within the Welland Official Plan. They are also intended to provide further direction to help guide design and development within Northwest Welland. The guidelines are an addendum to the City of Welland's existing city-wide Urban Design Guidelines dated August 2014 (the City-wide Guidelines). They are intended to be read in conjunction with the Citywide Guidelines and provide further design direction specific to areas within the Secondary Plan to establish a design framework that encourages the creation of a successful and sustainable urban community.

Mixed-Use Residential: Provides Design Direction for Mixed-Use Areas

The intent of the Mixed-Use designation is to encourage new residential development that provides a variety of retail opportunities and residential housing options to help achieve a balanced community. This designation is meant to support a mix of building types including mixed-use and higher density developments to enhance street-related activity, and support walkability and transit.

The Guidelines encourage that mixed-use buildings shall be located close to the intersection of Quaker Road and Rice Road, that they should be oriented towards the road to create a strong street edge and comfortable public realm for pedestrians, and that they include articulation in the facade.

The development aligns with the Mixed-Use guidelines by proposing an appropriately scaled mixed-use building at the Rice Road and Quaker Road intersection. Its proposed uses will enhance street life and animate the corner, and help achieve a complete community through the introduction of higher-density mixed-uses along arterial roads.

6.7 – CITY OF WELLAND ZONING BY-LAW NO. 2017-117

EXISTING ZONING

Schedule A Map B2 of the City of Welland Zoning By-law identifies the subject land as Rural Residential (RR) Zone. **Figure 8** below displays an excerpt of Map B2 and is illustrative to the zoning of the subject lands and the zoning of the surrounding lands.



Figure 8 – excerpt from Schedule A Map B2 – City of Welland Zoning By-law

6.5.1 – PROPOSED ZONING BY-LAW AMENDMENT

The submitted Zoning By-law Amendment seeks to re-zone the subject property from Rural Residential (RR) Zone to the proposed Community Commercial Corridor (CC2) Zone. This Zone will support the proposed 4-storey mixed use apartment dwelling on the site, refer to section 6.5 of this Planning Report for more details about the City of Welland Zoning By-law, and brings zoning into alignment with the NWWSP “Mixed-Use” designation.

The table below shows the requirements for Mixed-Use Apartment Buildings zoned as Commercial Corridor (CC2) Zone as laid out in the City of Welland Zoning By-law. The table compares the provided required measurements from **Appendix I** of this Planning Report to the permitted required measurements in the Zoning By-law.

Commercial Corridor 2 (C22) Zone		
Requirement:	Permitted:	Provided:
Minimum Lot Area	NA	5693.02m ²
Minimum Lot Frontage	NA	65.23m
Front Yard Depth	Minimum of 0 meters, maximum of 3.00 metres	1.64m
Minimum Rear Yard Depth	3.00 meters	21.54m
Minimum Interior Side Yard Width	0 meters or 4.50 meter for any lot abutting a residential or institutional zone.	28.07m
Minimum Exterior Side Yard Width	3.00 meters	12.92m
Maximum Lot Coverage	50%	22.85%
Maximum Height of Building	24.00 meters or 8 storeys	14.16m or 4 storeys
Minimum Landscaped Open Space	15%	44.11%
Maximum Gross Floor Area	NA	

7.0 - SUMMARY AND CONCLUSION

The application is proposing to develop a mixed-use apartment dwelling containing three commercial units and 60 residential units on the lot municipally known as 506 Quaker Road. As determined through the pre-consultation meeting, the development requires an application for a Zoning By-law Amendment to proceed.

The proposed development is permitted under the *Planning Act*, the Provincial Planning Statement, the Region of Niagara Official Plan, the City of Welland Official Plan and City of Welland Zoning By-law.

The application has been submitted with an Archeological Assessment, a Stormwater Management Plan and a Functional Servicing Report as required within the pre-consultation notes. A copy of the pre-consultation notes is attached within **Appendix II** of this Planning Justification Report.

Based on the above analysis, the proposed development represents good planning as it is consistent with the *Planning Act*, the Provincial Planning Statement, the Region of Niagara Official Plan, the City of Welland Official Plan and the City of Welland Zoning By-law and should therefore be supported.

Prepared by:



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Respectfully submitted by:



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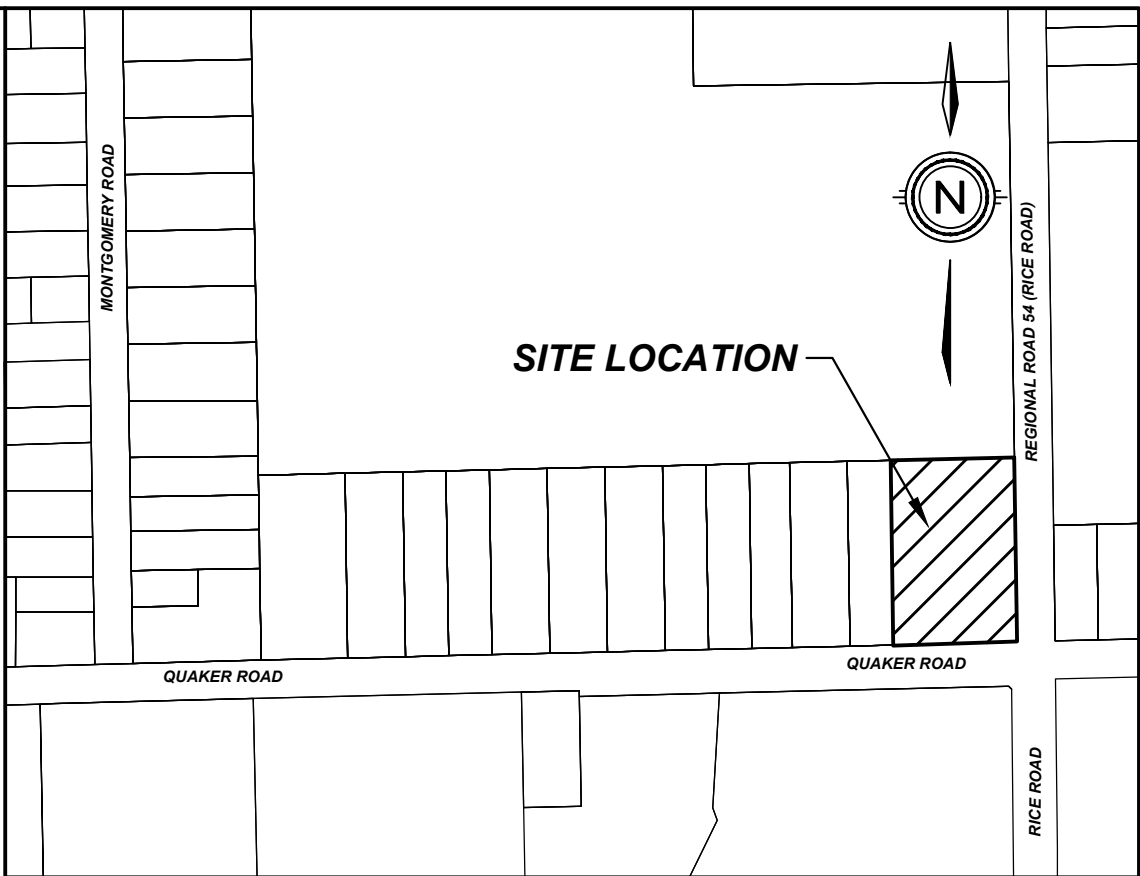
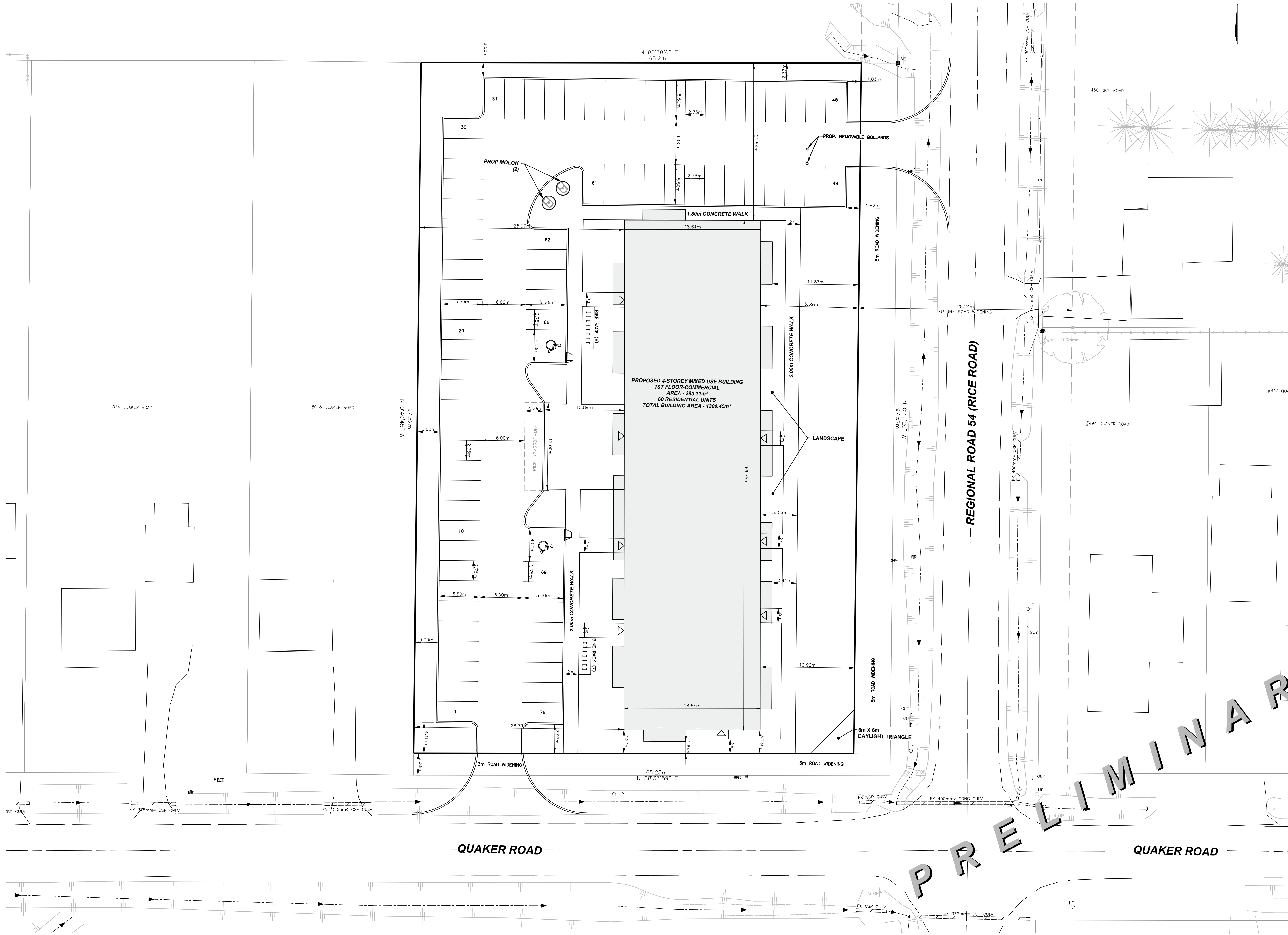
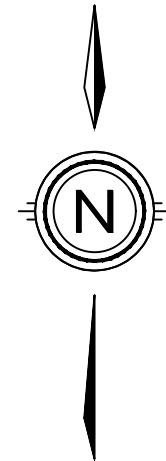
Appendix I

Conceptual Site Plan



RICE & QUAKER CONDO

CITY OF WELLAND



KEY PLAN
N.T.S.

ZONING REQUIREMENTS

COMMERCIAL CORRIDOR 2 (CC2)		
PROVISION	REQUIRED	PROVIDED
MIN. LOT AREA	N/A	5693.02m²
MIN. LOT FRONTAGE	N/A	65.23m
MIN. FRONT YARD DEPTH	0m (MINIMUM) AND 3m (MAXIMUM)	1.64m
MIN. INTERIOR SIDE YARD WIDTH	0m (4.5m ABUTTING A LOT IN ANY RESIDENTIAL OR INSTITUTIONAL ZONE)	28.07m
MIN. EXTERIOR SIDE YARD WIDTH	3m (MINIMUM) AND MAXIMUM IS N/A	12.92m
MIN. REAR YARD DEPTH	3m	21.54m
MAX. BUILDING HEIGHT	24.0m, 8 storeys	14.16m (4 STOREYS)
GROSS FLOOR AREA (MAX)	1858m² (REFER TO CITY OF WELLAND OFFICIAL PLAN POLICY 4.4.2.7.D)	MAX. BUILDING HEIGHT
MIN. LANDSCAPE OPEN SPACE	15%	44.11%
MAX. LOT COVERAGE	50%	22.85%

PARKING STATISTICS

REQUIRED PARKING: RESIDENTIAL (APARTMENT ABOVE COMMERCIAL)
1 SPACE PER UNIT
COMMERCIAL - 1 SPACE PER 30m² OF GROSS FLOOR

60 APARTMENT UNITS x 1 = 60 SPACES TOTAL
293.11m² (COMMERCIAL) / 30m² = 9.77 (10) SPACES TOTAL (70 TOTAL)

ACCESSIBLE REQUIRE = 2 SPACES FOR 50-100 SPACES REQUIRED
PARKING SPACES PROVIDED = 76 (INCL. 2 ACCESSIBLE)

LOADING SPACES = 1 SPACE REQUIRED

BIKE SPACES = 60 APARTMENT UNITS x 0.25 = 15 BIKE SPACES
293.11 (COMMERCIAL) / 1000m² = 0.29 (1) BIKE SPACE

TOTAL BIKE SPACES PROVIDED = 15 SPACES

SITE STATISTICS

AREA	ha	% COVERAGE
BUILDING	0.130	22.85
ROADWAY/PARKING	0.188	33.04
LANDSCAPE	0.251	44.11
TOTAL	0.569	100.00
RESIDENTIAL DENSITY		98.42 un/ha

ISSUED FOR REVIEW	2025-04-10	TA
REVISION	DATE	INIT



DRAWING TITLE CONCEPT SITE PLAN	DRAFTING	TA
	DATE	MAY 23, 2025
	PRINTED	MAY 23, 2025
	SCALE	1:250
DWG No.	2180 - CSP	REV 0

Appendix II

Pre-Consultation Notes





Pre-consultation Meeting Form

City of Welland

Region of Niagara

Niagara Peninsula Conservation Authority

Persons intending to make an application for a proposed development are required to consult with planning staff prior to submitting an application. A pre-consultation meeting will identify what is required to be submitted for a complete application and will provide the opportunity to discuss:

- the nature of the application;
- development and planning issues;
- fees;
- the need for information and/or reports to be submitted with the application;
- the planning approval process;
- other matters, as determined.

Pre-Consultation Meeting Date: September 5, 2024

Site Address: 506 Quaker Road **Approximate Land Area (metric):** 0.64 ha

Site Legal Description: PT TWP LOT 175

Owner Contact Information:

Name of Owner: Lally Holdings Ltd.

Phone Number: 416-708-9777 Email: john@lallyhomes.com

Principal Contact: Upper Canada Consultants c/o Nicholas Godfrey

Phone Number: 905-688-9400 Email: nicholas@ucc.com

Application Type:

- | | | |
|---|---|--|
| <input type="checkbox"/> Regional Official Plan Amendment | <input type="checkbox"/> Draft Plan of Condominium | <input type="checkbox"/> Zoning By-law |
| <input type="checkbox"/> Local Official Plan Amendment | <input type="checkbox"/> o Vacant Land & Common Element | <input type="checkbox"/> Other |
| <input type="checkbox"/> Draft Plan of Subdivision | <input type="checkbox"/> o Conversion | |
| <input type="checkbox"/> Consent (Land Severance) | <input type="checkbox"/> o Other | |
| <input checked="" type="checkbox"/> Site Plan Approval | <input type="checkbox"/> Minor Variance | |

Local Municipal Contact: Taylor Meadows **Phone:** 905-735-1700 x 2246 **Email:** taylor.meadows@welland.ca

1. Brief description of proposed development:

The proposal seeks to construct two mixed use buildings. Each being 6-storeys, with 20 residential units and 543 square metres of commercial. 69 Parking spaces are proposed.

2. Check All Applicable: ☐ Brownfield ☐ Greenfield ☒ Built-up ☐ Local CIP Area

3. Development Charges: Regional ☒ Local ☒ NCDSB ☒

4. Existing Regional Policy Plan Designation: Delineated Built-up Area

Conformity with Regional Policy Plan land use designations and policies? : yes ☒ no ☐ unknown ☐

If 'No', what is the nature of the amendment needed? _____

5. Existing Local Official Plan Designation: Mixed Use – Northwest Secondary Plan

Conformity with Official Plan land use designations and policies? ☐ Yes ☒ No

If 'No', what is the nature of the amendment needed?

6. Existing Zoning: Rural Residential

Conformity with existing zoning?: ☐ Yes ☒ No

If 'No', what is the proposed zoning:

7. Is Site Plan approval required? ☒ Yes ☐ No

8. Fees (2024) Required at time of Submission of the Application

Application	Local Planning Department	Region of Niagara	Niagara Peninsula Conservation Authority
Regional Official Plan Amendment			
Local Official Plan Amendment			
Zoning By-law Amendment	\$9,841	\$1,440	
Plan of Subdivision			
Plan of Condominium			
Consent			
Site Plan Agreement	\$9,390	\$1,440	
Other		\$700 - Stormwater Management Review \$1,350 – Constraints Analysis \$535 – EIS Terms of Reference \$290 – Minor Urban Design Fee	
TOTAL			

Notes on Fees:

- Notwithstanding the fees noted above, all fees are payable based upon the rate in the fee schedule by-law in effect on the date the application is received.
- Further fees may be required at a later date as per the fee schedule by-law.
- Separate cheques shall be made payable to the appropriate agency.

9. **Additional Agencies to be contacted:**

☒ HYDRO ☐ PIPELINES ☐ MTO* ☐ OTHER _____

* If MTO is to be circulated – upload submission to the Highway Corridor Management System via Land Development Portal

10. Additional Comments:

- Niagara Region comments will be provided separately.

Planning Division

- A zoning by-law amendment is required to facilitate the proposal.
- The lands are within the Northwest Secondary Plan area and are designated Mixed Use.
 - o If the mixed use development, as proposed for the pre-consultation meeting or otherwise arranged as a mixed use format, is supported by the designation as a planned function and permitted use. The mixed use development would not require an official plan amendment.
 - o If a mixed use development is not proposed for the site then an official plan amendment would be required to facilitate the desired use.
- The proposal is subject to site plan control. An application for site plan control can be submitted once the appropriate zoning and designation are in place.

Engineering Division

- A storm water management report is required, demonstrating that stormwater flows can be controlled from 5-year post to 2-year pre-development levels and 100-year post to 100-year pre-development levels, and treated to an enhanced level of protection (80% TSS removal) per ETV criteria.
- A Functional Servicing report is required, identifying maximum day water demands, required fire flow, and sanitary flows from the site, as well as the impact these will have on existing infrastructure. Note that the latest Conceptual Servicing Design Report for the Northwest Welland Secondary Plan area includes a new storm sewer on Quaker Road, as well as watermain upgrades in this area, which should be referenced in the FSR for this site.
- Full SPA drawings including Site Plan, Site Servicing, Site Grading, Landscaping, Photometrics, and Sediment and Erosion Control will be required for review and approval.
- There are outstanding comments on the TIS update submitted for the CIHA that need to be addressed. Approval of the updated TIS is required to proceed with the development of this parcel.
- Depending on the timing of the development and the completion status of other watermain upgrades in the area, water modelling may be required to determine if this development can proceed before other works are complete. This modelling would be at the applicant's expense per the City's fee bylaw.
- Water must be metered in a chamber at the property line.

Building Division

- Planning approvals required prior to Building Permit Applications.
- For Building Permit submission requirements, contact Building Division regarding Application
- Separate Site Servicing Permit (underground water, sanitary, storm) is required
- Geotechnical report/subsurface investigation completed by a Professional Engineer is required. Their recommendations for building design to be incorporated and referenced in the Structural drawings
- Confirm stormwater management/grading approvals and capacity of existing infrastructure through Engineering Division.
- Site servicing within the road allowance must be approved by the City with the issuance of a Site Servicing Road Occupancy Permit (ROP).
- Obtain consent from the City of Welland Engineering Division for the connection to the potable water system supplied with water from the drinking water system in accordance with Sentence 7.6.2.1 (2) Division B of the 2012 Ontario Building Code, and;
- Obtain approval from the City of Welland Engineering Division for the connection of the Sanitary drainage system to the Public Sanitary Sewer including the connection of the Storm drainage system to the public storm sewage works in accordance with Sentences 7.1.5.1 (2), 7.1.5.2 (2) Div. B. (Required prior to Building Permit issuance)

- Development Charges are applicable and will be calculated during a Permit Application Review. If the owner wishes to estimate the fee at this stage of the development process, prior to building permit review process, please review the requirements in the respective Development Charges By-laws.
- Cash-in-lieu of parkland dedication fees to be collected at the time of Building Permit issuance – To be determined by current rates Contact Nicolas.Aiello@welland.ca, Policy Planning Supervisor
- Further technical comments will be provided through Site Plan circulation phase. Ontario Building Code Matrix is to be provided on the Site Plan Drawing for each building indicating use and building classification(s), building area, number of stories, type of construction, occupant load, presence of firewalls, number of residential units, designation of fire access route, location of nearest fire hydrants, spatial separation etc.

Traffic Division

- Review site entrances and exits, with the anticipated development in the surrounding neighbourhoods and northwest area a single entrance is not preferred, and the proximity of that entrance to the intersection may cause queueing issues
- Further discussion regarding access from Quaker and/or Rice is required
- Contact Ali Khan, ali.khan@welland.ca

Welland Hydro

- Expansion of the existing electrical infrastructure located on Rice Road; South of Quaker Rd will be required to service the proposed Development. Costs associated with the noted expansion are the responsibility of the Developer.
- The proposed development must meet the clearance requirements of section 3.1.19.1 “Clearance to Buildings” of the Ontario Building Code. 5m clearance from outer most conductor is required. See link below for further information. https://wellandhydro.com/wp-content/uploads/2022/06/WH_Clearances-to-Overhead-Electrical-Infrastructure.pdf
- Electrical distribution designs are to be completed by the Developers’ Consultant and submitted Welland Hydro-Electric System Corp (WHESC) for review and approval.
- The Developers’ consultant is to provide WHESC with a load calculation summary to assist with determining servicing requirements.
- The design shall include adequate clearance to facilitate the installation of padmounted transformer(s) as per CSA 22.3 No. 7-20 Section 10.
- WHESC’s demarcation point is to be the secondary terminals of the padmounted transformer.
- Electrical metering location to be reviewed and approved by WHESC. WHESC is to be provided unimpeded access to a metering location, via an exterior door directly to the metering room. A copy of the keys for the electrical room must be provided to WHESC prior to energization.
- Associated costs to provided WHESC’s portion of servicing will be estimated once review and approval the provided design package has been completed.
- The current lead time from the transformer manufacturer is 52 weeks. An order for the transformer will not be placed until the noted estimate deposit is received.
- If easement(s) are required by WHESC to service this development or any future adjacent developments, the applicant shall provide at their expense all necessary registered easements.
- Please completed WHESC’s new service application via the link included below.
<https://wellandhydro.com/accounts-billing/electrical-service-connection-request-form/>
- Contact WHESC’s Engineering department if you have any further questions or concerns.

Mississaugas of the Credit First Nation

- MCFN Requests that a Stage 1 Archeological Assessment be undertaken and circulated to MCFN for review and comment. If a Stage 2 Archeological Assessment is warranted MCFN requests participation. Contact Abby Lee, abby.laforme@mncfn.ca

Six Nations of the Grand River

- SNGR Requests a Stage 1 Archeological Assessment be undertaken and circulated to Six Nations. If a Stage 2 Archeological Assessment is warranted SNGR requests participation. Contact Tany Hill, tanyahill-montour@sixnations.ca

Niagara Peninsula Conservation Authority

- NPCA Staff have further reviewed aerial imagery and our internal hillshade layers and as shown in the attached map, it is of the opinion of NPCA that there may be a feature present (i.e., head water drainage feature). As such, NPCA Staf will be requesting a site visit for further assessment to confirm the presence or absence of any aspects of the head water drainage feature, if it exists on the landscape.
- Following the site visit, the NPCA will provide additional comments. Comments will address what level of protection is warranted and to potentially scope any future studies as per NPCA Policies. This site visit should be done in conjunction with Regional Environmental Staf and City Staf should they also wish to attend. Should regulated features be found on the subject property the proposal may need to be adjusted to account for the features, to the satisfaction of the NPCA.
- Please be advised that circulation of review fees maybe required and will be provided following the complete site visit in our comments.
- Please note that any development within an NPCA regulated area (including stormwater outfalls) will require NPCA review and approval and possible work permits prior to the start of development.

11. **Site Visit:** _____

12. **Incentive Programs:** _____

13. Required Information and Studies to be submitted with the Application(s). Studies identified with an asterisk* will likely require a peer review at the cost of the developer. **Please ensure all digital copies are provided as an Accessible Document.**

Local	Region	NPCA	Reports, Studies, Plans (See Notes for additional details)	No. of Copies		Notes
				Elect Digital	Paper	
X	X		Planning Justification Report			
X			Conceptual Site Plan, Subdivision Plan			
			Draft Regional Policy Plan Amendment			
X			Draft Zoning Amendment			
			Land Use/Market Needs*			
	X		Urban Design/Landscape Plans			
	X		Archaeology Assessment			
			Cultural Heritage Impact Assessment*			
			Environmental Impact Study			
			Environmental Planning Study/ Sub-Watershed Study			
			Tree Inventory Preservation Plan			
			Floodplain and Hazard Lands Boundary Plan			
X			Geotechnical			
			Environmental Site Assessment			
			Air Quality/Noise & Vibration Study*			
			Agricultural Impact Assessment			
			Farm Operation and Ownership			
			Minimum Distance Separation I & II			
			Mineral Aggregate Resources			
X			Municipal Servicing Study			
			Phasing Plan			
			Sensitive Land Use Report			
			Slope Stability Report			
X	X		Stormwater Management Plan			
			Transportation Impact Study/Parking Impact Analysis			
			Hydrogeological Study and Private Servicing Plans*			
			Soil report			
			Financial Impact Assessment*			
			Shadow Analysis			
			Risk Management Study			
			Gas Well Study/Gas Migration Study			
			Wind Study*			
			Other*			

Notes:

1. The purpose of this document is to identify the information required to commence processing and evaluating an application as set out in the Planning Act. This pre-consultation process is designed to proceed based on the mutual agreement of the parties as shown by the signatures below.
2. Pre-consultation does not imply or suggest any decision whatsoever on behalf of staff or the City to either support or refuse the application.
3. The applicant should be aware that the information provided is accurate as of the date of the preconsultation meeting. Should an application not be submitted in the near future, and should other policies, by-laws or procedures be approved by the Province, City, Region or other agencies prior to the submission of a formal application, the applicant will be subject to any new policies, by-laws or procedures that are in effect at the time of the submission of a formal application. If an application is not submitted within 1 year, it is advisable that the applicant confirm with the City the directives of the original preconsultation meeting.
4. Any application submitted without the information identified in this Pre-consultation Document will be deemed incomplete and not processed. Alternately, staff may recommend refusal of the application based upon insufficient information to properly evaluate the application.
5. The applicant acknowledges that the City and Region considers the application forms and all supporting materials including studies and drawings, filed with any application to be public information and to form part of the public record. With the filing of an application, the applicant consents and hereby confirms that the consent of the authors of all supporting reports have been obtained, to permit the City and Region to release the application and any supporting materials either for its own use in processing the application, or at the request of a third party, without further notification to, or permission from, the applicant.
6. It is hereby understood that during the review of the application additional studies or information may be required as a result of issues arising during the processing of the application or the review of the submitted studies.
7. If the City or Region does not have sufficient expertise to review and determine that a study is acceptable, the City may require a peer review. The cost of the peer review shall be paid for by the applicant. The Terms of Reference for a peer review is determined by the City or Region.
8. Some studies may require NPCA review and clearance/approval. In this instance, the NPCA review fee shall be paid by the applicant.
9. All plans and statistics must be submitted in metric.

Signatures:Taylor Meadows

Planning Staff

Infrastructure & Dev. Services (sig)DateCaitlin Kovacs

Planning Staff

Infrastructure & Dev. Services (sig)DateJoe Thompson

Infrastructure Svc. Staff

Infrastructure & Dev. Services (sig)Date-----

Infrastructure Svc. Staff

Infrastructure & Dev. Services (sig)DateJennifer McRae

Building Staff

Infrastructure & Dev. Services (sig)Date

Appendix III

Architectural Plans

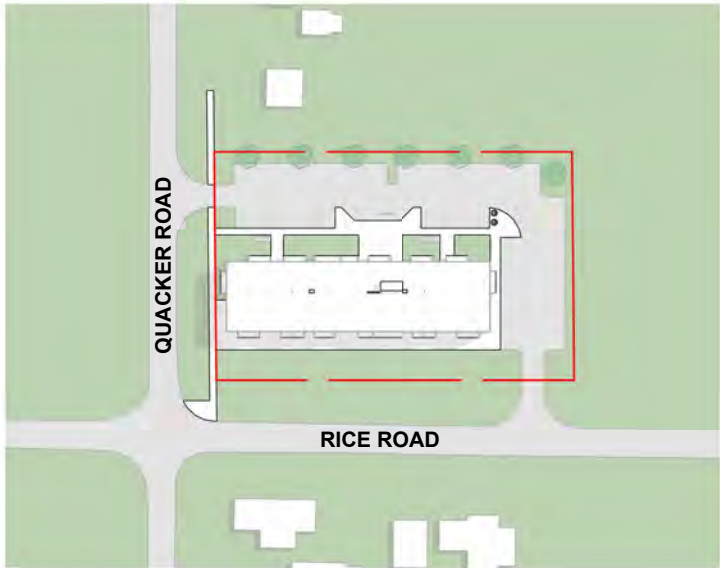


FastTrack Proposal for: RICE & QUAKER

CONTENT

- 01. PROPOSAL METRICS
- 02. SITE PLAN
- 03. ENLARGE FLOOR PLANS
- 04. ELEVATIONS
- 05. 3D VIEWS
- 06. OPENING TAKE - OFF
- 07. PRECAST MATERIAL TAKE - OFF
- 08. FAST TRACK CATALOGUE
- 09. FEATURED PROJECTS
- 10. WHY BUILD TOTAL PRECAST ?
- 11. PRECAST INSTALLTIONS





1 SITE AREA KEY PLAN
1 : 2000

BUILDING EFFICIENCY

Zone Type	Area (sqft)	Ratio
Common	2,513	4%
Non-Residential	13,665	24%
Residential	39,809	71%
	55,987	
GRAND TOTAL	55,987	

UNIT CALCULATIONS

Name	Count	Ratio	Average (sqft)
ONE BED	26	43%	573
ONE BED PLUS	12	20%	676
STUDIO	6	10%	384
TWO BED	10	17%	840
TWO BED PLUS	6	10%	1,059
	60		
GRAND TOTAL	60		

SITE INFORMATION

	Required	Proposed	
Zoning Bylaw - 2017-117 Number of Units - Density	—0— N/A	60 105.36 units/hectare	✓
Zoning Bylaw - 2017-117 - Section 7 Property Area	780 m ² <i>min</i>	5694.6 m ²	✓
Zoning Bylaw - 2017-117 - Section 7 Lot Frontage	45 m <i>min</i>	60.23 m	✓
Zoning Bylaw - 2017-117 - Section 7 Building Height - Number of Storeys	20 m <i>max</i>	14.16 m	✓
Zoning Bylaw - 2017-117 - Section 7 Front Yard Setback - Quaker Road	0 m <i>min</i>	2.74 m	✓
Zoning Bylaw - 2017-117 - Section 7 Interior Side Yard Setback	3 m <i>min</i>	28.79 m	✓
Zoning Bylaw - 2017-117 - Section 7 Exterior Side Yard Setback	4 m <i>min</i>	12.79 m	✓
Zoning Bylaw - 2017-117 - Section 7 Rear Yard Setback	7.5 m <i>min</i>	22.05 m	✓
Zoning Bylaw - 2017-117 - Section 7 Lot Coverage	55% 3132.03 m ² <i>max</i>	22.83% 1300.11 m ²	✓
Zoning Bylaw - 2017-117 - Section 7 Landscape Open Space	20% 1138.92 m ² <i>min</i>	42.36% 2412.12 m ²	✓
Landscape Open Space Breakdown Hardscape (Sidewalk Area) = 832.41 m ² (14.62%) Provided Softscape (Green Area) = 1579.71 m ² (27.74%) Provided Total Landscape Open Space = 2412.12 m ² (42.36%) Provided			
Zoning Bylaw - 2017-117 Amenity Area	—0 m ² — N/A	782.46 m ²	✓
Amenity Area Breakdown Balconies = 482.02 m ² Indoor Amenity = 300.44 m ² (5.01 m ² per Unit) Provided Total Amenity Area = 782.46 m ² Provided			
Zoning Bylaw - 2017-117 - Section 6 Residential Parking requirement	54 <i>min</i>	60	✓
Residential Parking Count Breakdown Total units = 54 x 1.00 + 6 x 0.30 = 56 Parking spots Required Total units = 54 x 1.07 + 6 x 0.30 = 60 Parking spots Provided			
Zoning Bylaw - 2017-117 - Section 6 Commercial Parking requirement	10 <i>min</i>	10	✓
Commercial Parking Count Breakdown Total units = 293 m ² / 30 m ² = 10 Parking spots Required Total units = 293 m ² / 30 m ² = 10 Parking spots Provided			
Zoning Bylaw - 2017-117 - Section 6 Accessible Parking requirement	2 <i>min</i>	2	✓
Zoning Bylaw - 2017-117 - Section 6 Long Term Bicycle Parking 0.25 x unit	15 <i>min</i>	15	✓

UNIT TYPE BREAKDOWN - GROUND FLOOR

Name	Unit Area	Count	Total Area (sqft)	Count Ratio
ONE BED	524 SF	1	524	17%
ONE BED	676 SF	1	676	17%
STUDIO	343 SF	1	343	17%
STUDIO	352 SF	2	705	33%
TWO BED	762 SF	1	762	17%
Grand Total:		6	3,009	100%

UNIT TYPE BREAKDOWN - TYPICAL FLOOR

Name	Unit Area	Count	Total Area (sqft)	Count Ratio
ONE BED	524 SF	6	3,143	33%
ONE BED	676 SF	2	1,351	11%
ONE BED PLUS	635 SF	1	635	6%
ONE BED PLUS	662 SF	1	662	6%
ONE BED PLUS	695 SF	1	695	6%
ONE BED PLUS	705 SF	1	705	6%
STUDIO	413 SF	1	413	6%
TWO BED	847 SF	2	1,695	11%
TWO BED	849 SF	1	849	6%
TWO BED PLUS	1,059 SF	2	2,119	11%
Grand Total:		18	12,267	100%

UNIT TYPE BREAKDOWN - TOTAL BUILDING

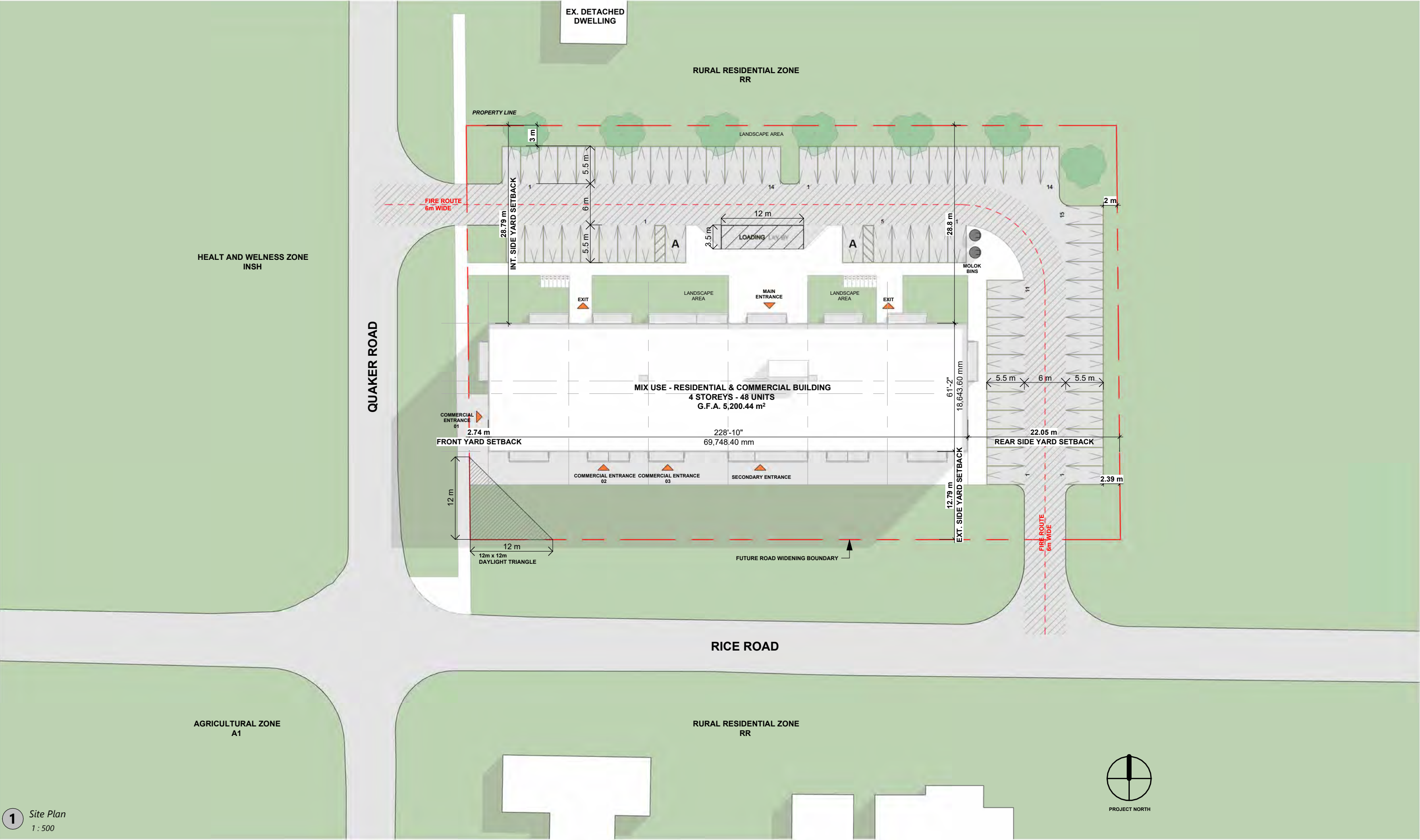
Name	Unit Area	Count	Total Area (sqft)	Count Ratio
ONE BED	524 SF	19	9,954	32%
ONE BED	676 SF	7	4,729	12%
ONE BED PLUS	635 SF	3	1,906	5%
ONE BED PLUS	662 SF	3	1,986	5%
ONE BED PLUS	695 SF	3	2,086	5%
ONE BED PLUS	705 SF	3	2,116	5%
STUDIO	343 SF	1	343	2%
STUDIO	352 SF	2	705	3%
STUDIO	413 SF	3	1,238	5%
TWO BED	762 SF	1	762	2%
TWO BED	847 SF	6	5,084	10%
TWO BED	849 SF	3	2,547	5%
TWO BED PLUS	1,059 SF	6	6,356	10%
Grand Total:		60	39,809	100%

RESIDENTIAL UNIT / PARKING RATIO

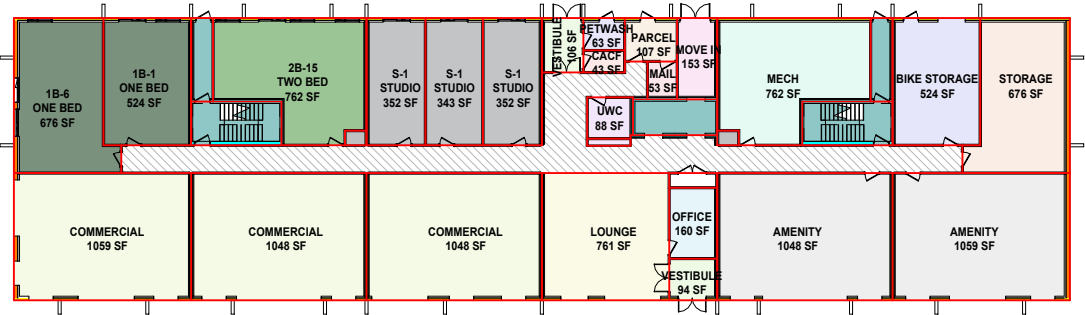
Units	Parking	Ratio
60	60	1.0

PARKING INFORMATION

Type	Location			
	Required	Provided	Surface	Garage
ACCESSIBLE WITH AISLE	1	1	1	0
STANDARD	9	9	9	0
COMMERCIAL	10	10	10	0
ACCESSIBLE WITH AISLE	1	1	1	0
STANDARD	55	59	59	0
RESIDENTIAL	56	60	60	0
TOTAL SITE PARKING	66	70	70	0



1 Site Plan
1 : 500



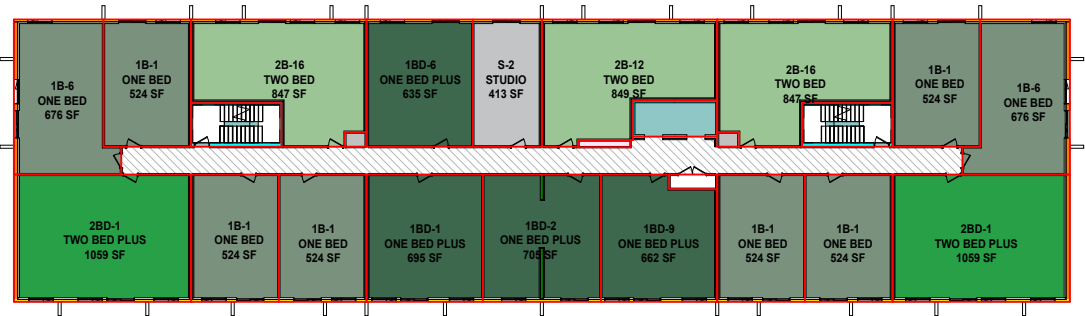
1 Area Calculations - Ground Floor Plan
1 : 500

AREA EFFICIENCY @ L1

Zone Type	Area (sqft)	Ratio
Common	1,376	10%
Non-Residential	9,612	69%
Residential	3,009	21%
	13,997	

LEVEL 1

Name	Count	Area	Unit Ratio
ONE BED	2	1,199	33%
STUDIO	3	1,048	50%
TWO BED	1	762	17%
	6	3,009	



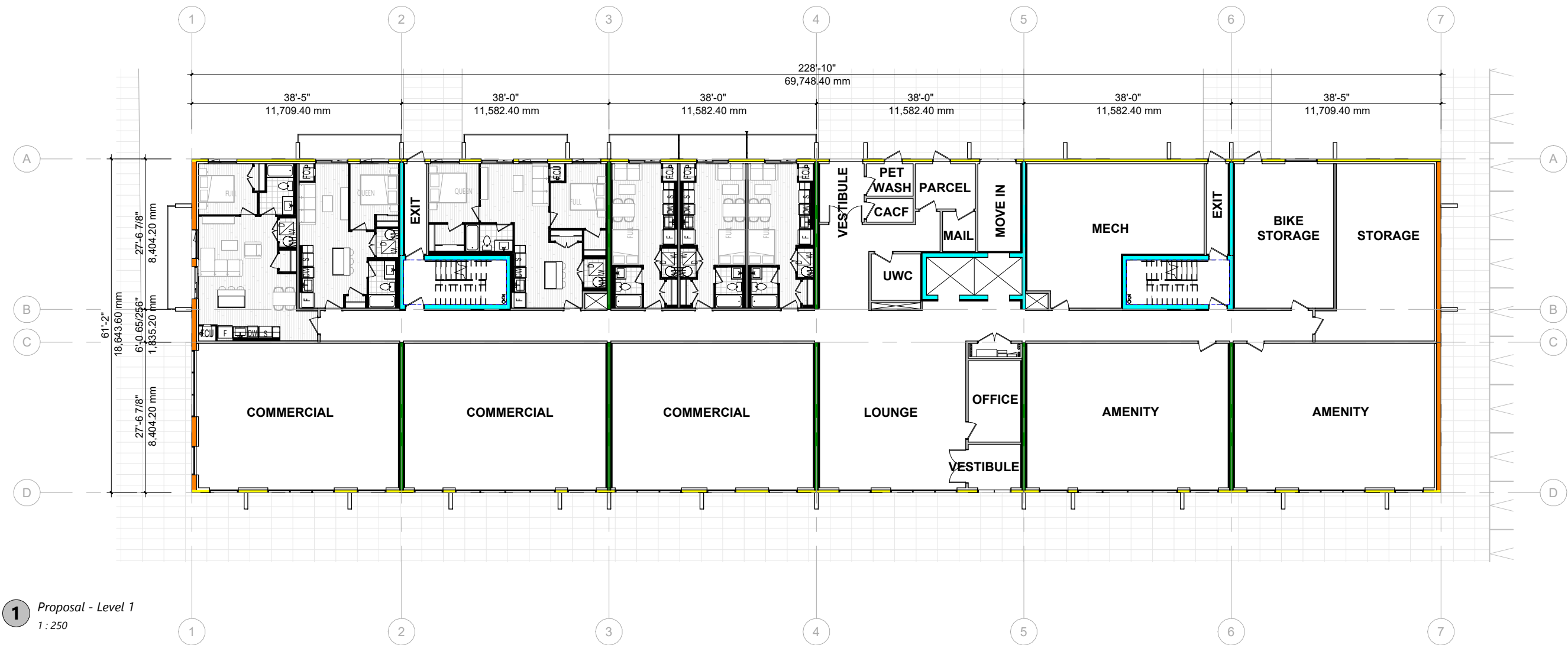
2 Area Calculations - Typical Floor Plan
1 : 500

AREA EFFICIENCY @ TYPICAL

Zone Type	Area (sqft)	Ratio
Common	1,137	8%
Non-Residential	593	4%
Residential	12,267	88%
	13,997	

TYPICAL LEVEL

Name	Count	Area	Unit Ratio
ONE BED	8	4,494	44%
ONE BED PLUS	4	2,698	22%
STUDIO	1	413	6%
TWO BED	3	2,544	17%
TWO BED PLUS	2	2,119	11%
	18	12,267	



DOOR TAKEOFF - LEVEL 1

Type	Rough Width	Rough Height	Area (sqft)	Count
Door-Exterior-Double MOVING	2,032	2,237	49	1
Ext - Double - Vestibule - 1830x2135	1,880	2,159	87	2
Ext - Single - Exit - 914x2134	965	2,159	45	2
Ext - Single - Exit W/Power Operator - 914x2032	965	2,057	21	1
Ext - Sliding - Balcony - 70.75" x 82.5"	1,880	2,261	137	3
Ext - Sliding - Balcony - 70.75" x 95.5"	1,880	2,261	137	3

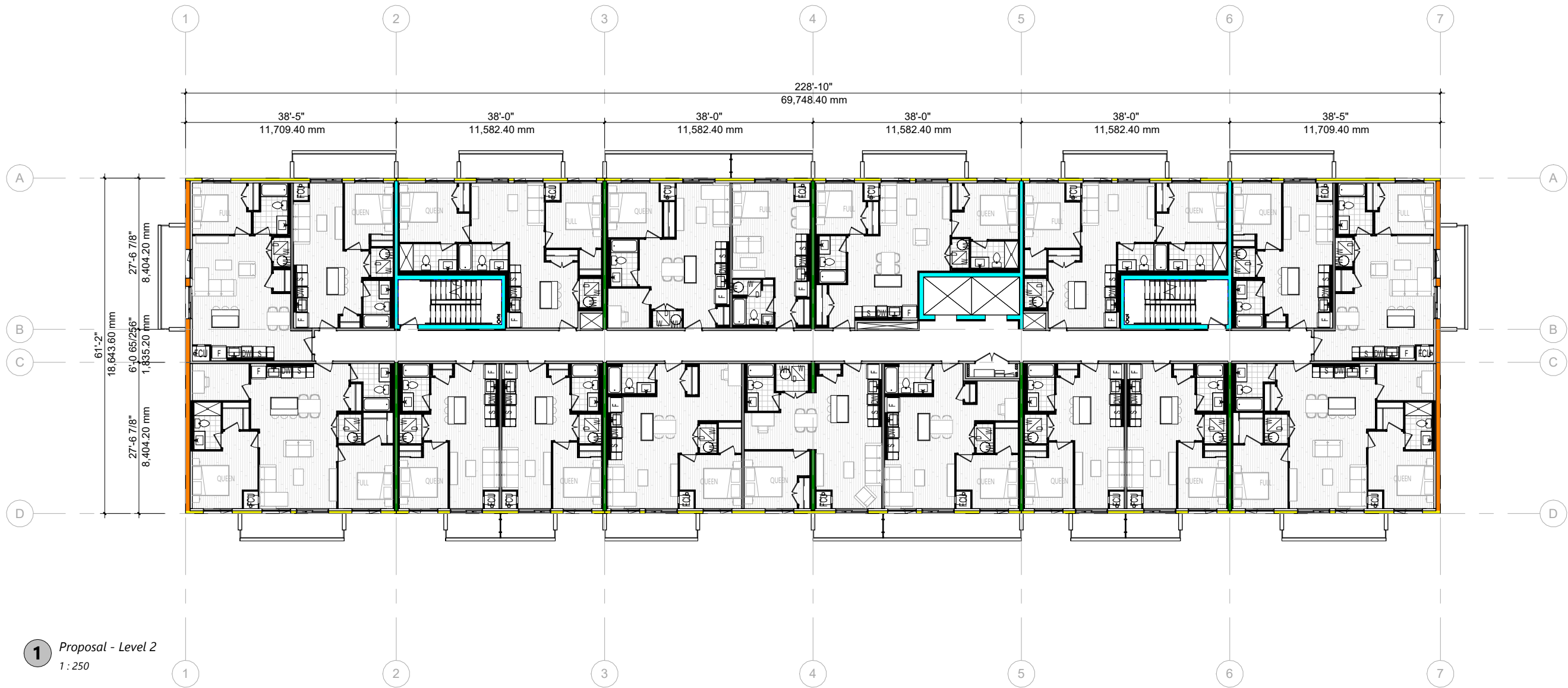
WINDOW TAKEOFF - LEVEL 1

Type	Rough Width	Rough Height	Area (sqft)	Count
Window - Casement - 3 Pane - 63" x 66"	1,651	1,702	181	6

AREA SCHEDULE - LEVEL 1

Unit	Count	Area (sqft)	Count Ratio
ONE BED			
524 SF	1	524	17%
676 SF	1	676	17%
	2	1,199	33%
STUDIO			
343 SF	1	343	17%
352 SF	2	705	33%
	3	1,048	50%
TWO BED			
762 SF	1	762	17%
	1	762	17%
Grand Total:	6	3,009	100%

- 10" EXTERIOR
- 10" INTERIOR
- 6" CLADDING
- 10" SHAFT
- 17" INSULATED



1 Proposal - Level 2
1 : 250

DOOR TAKEOFF - TYP LEVEL

Type	Rough Width	Rough Height	Area (sqft)	Count
Ext - Sliding - Balcony - 70.75" x 82.5"	1,880	2,261	91	2
Ext - Sliding - Balcony - 70.75" x 95.5"	1,880	2,261	732	16

WINDOW TAKEOFF - TYP LEVEL

Type	Rough Width	Rough Height	Area (sqft)	Count
Window - Casement - 3 Pane - 63" x 66"	1,651	1,702	938	31

AREA SCHEDULE - TYP LEVEL

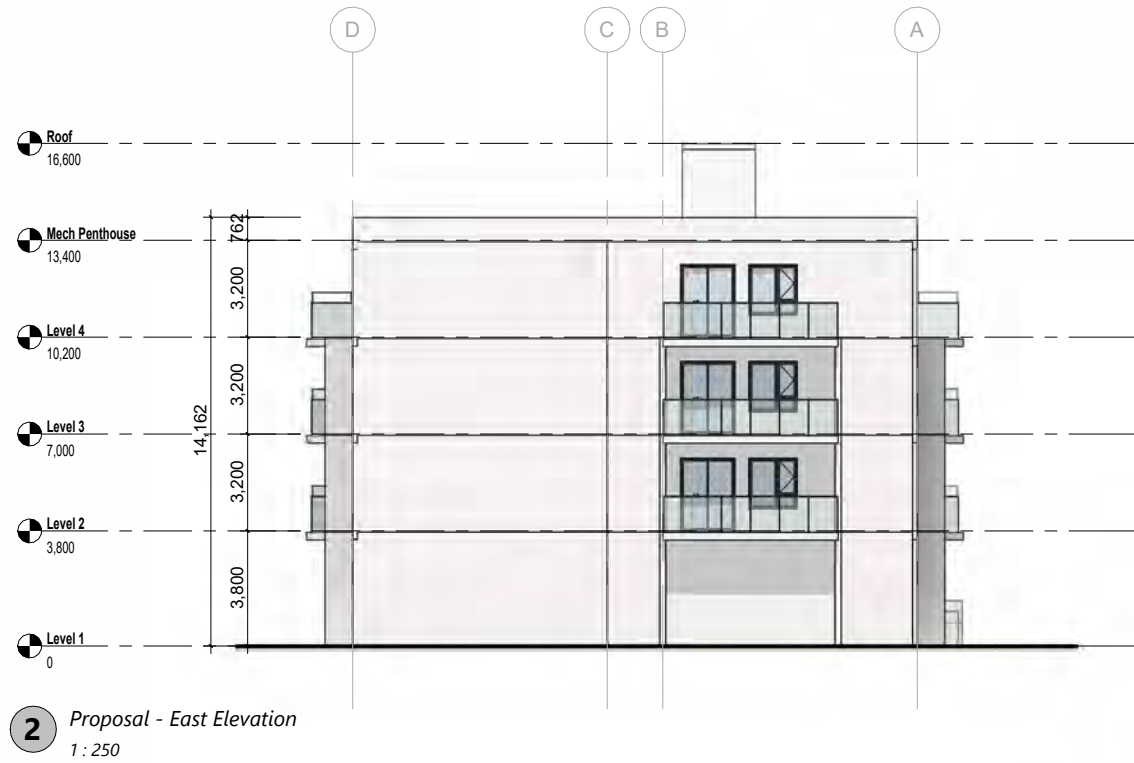
Unit	Count	Area (sqft)	Count Ratio
ONE BED			
524	6	3,143 SF	33%
676	2	1,351 SF	11%
	8	4,494 SF	44%
ONE BED PLUS			
635	1	635 SF	6%
662	1	662 SF	6%
695	1	695 SF	6%
705	1	705 SF	6%

AREA SCHEDULE - TYP LEVEL

Unit	Count	Area (sqft)	Count Ratio
	4	2,698 SF	22%
STUDIO			
413	1	413 SF	6%
	1	413 SF	6%
TWO BED			
847	2	1,695 SF	11%
849	1	849 SF	6%
	3	2,544 SF	17%
TWO BED PLUS			
1,059	2	2,119 SF	11%
	2	2,119 SF	11%
Grand Total:	18	12,267 SF	100%

- 10" EXTERIOR
- 10" INTERIOR
- 6" CLADDING
- 10" SHAFT
- 17" INSULATED







1 3D View - Front Left



2 3D View - Rear Right - Proposal Set



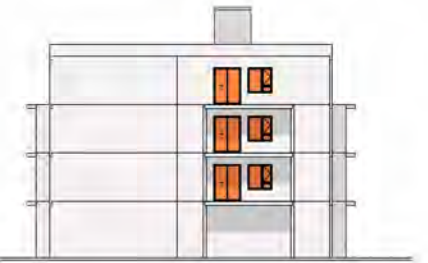
1 Opening Takeoff - North
1 : 500



3 Opening Takeoff - West
1 : 500



2 Opening Takeoff - South
1 : 500



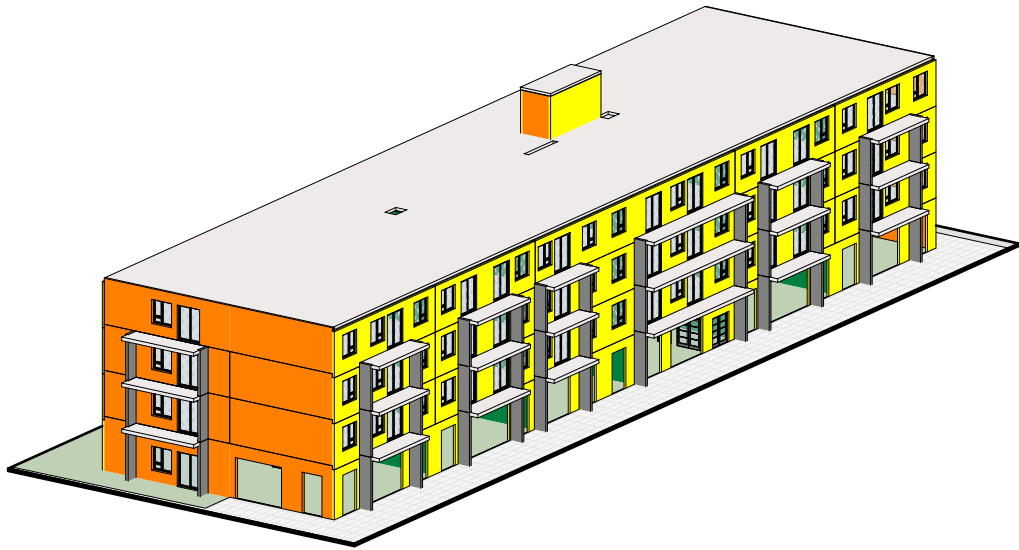
4 Opening Takeoff - East
1 : 500

WINDOW TAKEOFF

Type	Level	Area (sqft)	Count
Window - Casement - 3 Pane - 63" x 66"	Level 1	181	6
Window - Casement - 3 Pane - 63" x 66"	Level 2	938	31
Window - Casement - 3 Pane - 63" x 66"	Level 3	938	31
Window - Casement - 3 Pane - 63" x 66"	Level 4	938	31
		2,994	99
Grand total		2,994	99

DOOR TAKEOFF

Type	Level	Area (sqft)	Count
Door-Exterior-Double MOVING	Level 1	49	1
		49	1
Ext - Double - Vestibule - 1830x2135	Level 1	87	2
		87	2
Ext - Single - Exit - 914x2134	Level 1	45	2
		45	2
Ext - Single - Exit W/Power Operator - 914x2032	Level 1	21	1
		21	1
Ext - Sliding - Balcony - 70.75" x 82.5"	Level 1	137	3
Ext - Sliding - Balcony - 70.75" x 82.5"	Level 2	91	2
Ext - Sliding - Balcony - 70.75" x 82.5"	Level 3	91	2
Ext - Sliding - Balcony - 70.75" x 82.5"	Level 4	91	2
		412	9
Ext - Sliding - Balcony - 70.75" x 95.5"	Level 1	137	3
Ext - Sliding - Balcony - 70.75" x 95.5"	Level 2	732	16
Ext - Sliding - Balcony - 70.75" x 95.5"	Level 3	732	16
Ext - Sliding - Balcony - 70.75" x 95.5"	Level 4	732	16
		2,333	51
Grand total		2,947	66



HOLLOWCORE SLAB TAKEOFF

Type	Level	Area (sqft)	Area (m2)	Volume (m3)
PC Slab - Hollowcore - 8"	Mech Penthouse	13,561	1,260	256.00
PC Slab - Hollowcore - 8"	Roof	152	14	2.87
PC Slab - Hollowcore - 10"	Level 1	13,668	1,270	322.53
PC Slab - Hollowcore - 10"	Level 2	13,237	1,230	312.35
PC Slab - Hollowcore - 10"	Level 3	13,201	1,226	311.50
PC Slab - Hollowcore - 10"	Level 4	13,201	1,226	311.50
		67,019	6,226	1,516.74

WETCAST SLAB TAKEOFF

Type	Level	Area (sqft)	Area (m2)	Volume (m3)
PC Slab - Wetcast (Balcony) - 10"	Level 2	1,520	141	35.87
PC Slab - Wetcast (Balcony) - 10"	Level 3	1,520	141	35.87
PC Slab - Wetcast (Balcony) - 10"	Level 4	1,520	141	35.87
		4,560	424	107.61

PRECAST WALL TAKEOFF

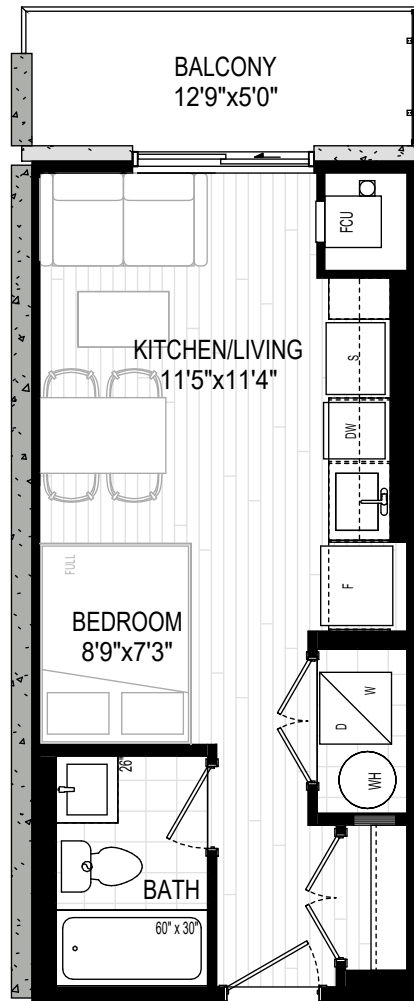
Type	Level	Length (mm)	Area (m2)	Area (sqft)	Volume (m3)
(PC-EXT-152) Cladding - 6"	Level 1	139,370	341.40	3674.75	52.03
(PC-EXT-152) Cladding - 6"	Level 2	139,497	300.04	3229.56	45.73
(PC-EXT-152) Cladding - 6"	Level 3	139,497	300.04	3229.56	45.73
(PC-EXT-152) Cladding - 6"	Level 4	139,497	300.04	3229.56	45.73
(PC-EXT-152) Cladding - 6"	Mech Penthouse	11,176	35.64	383.58	5.43
		569,036	1277.14	13747.02	194.64
(PC-EXT-254) Structural - 10"	Level 1	36,905	116.99	1259.25	29.72
(PC-EXT-254) Structural - 10"	Level 2	36,830	103.28	1111.75	26.23
(PC-EXT-254) Structural - 10"	Level 3	36,830	103.28	1111.75	26.23
(PC-EXT-254) Structural - 10"	Level 4	36,830	103.28	1111.75	26.23
(PC-EXT-254) Structural - 10"	Mech Penthouse	4,525	12.87	138.54	3.27
		151,920	439.71	4733.04	111.69
(PC-INT-203) Structural - 8"	Level 1	57,763	206.29	2220.52	41.92
(PC-INT-203) Structural - 8"	Level 2	57,762	163.39	1758.73	33.20
(PC-INT-203) Structural - 8"	Level 3	57,763	170.17	1831.68	34.58
(PC-INT-203) Structural - 8"	Level 4	57,763	170.17	1831.68	34.58
		231,050	710.02	7642.61	144.28

PRECAST WALL TAKEOFF

Type	Level	Length (mm)	Area (m2)	Area (sqft)	Volume (m3)
PC-SFT-203) Shaft - 8"	Level 1	29,663	97.79	1052.59	19.87
PC-SFT-203) Shaft - 8"	Level 2	29,997	92.92	1000.22	18.88
PC-SFT-203) Shaft - 8"	Level 3	29,997	92.92	1000.22	18.88
PC-SFT-203) Shaft - 8"	Level 4	29,997	92.92	1000.22	18.88
		119,653	376.56	4053.25	76.52
PC-SFT-254) Shaft - 10"	Level 1	37,545	121.04	1302.86	30.74
PC-SFT-254) Shaft - 10"	Level 2	37,342	103.60	1115.13	26.31
PC-SFT-254) Shaft - 10"	Level 3	37,342	103.60	1115.13	26.31
PC-SFT-254) Shaft - 10"	Level 4	37,342	103.60	1115.13	26.31
		149,571	431.84	4648.24	109.69
PC-WNG-203) Wing Wall - 8"	Level 1	25,603	97.29	1047.24	19.77
PC-WNG-203) Wing Wall - 8"	Level 2	25,603	81.93	881.89	16.65
PC-WNG-203) Wing Wall - 8"	Level 3	25,603	81.93	881.89	16.65
		76,810	261.15	2811.02	53.07
		1,298,040	3496.42	37635.18	689.87

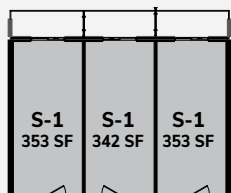
- | |
|---------------|
| 10" EXTERIOR |
| 10" INTERIOR |
| 6" CLADDING |
| 10" SHAFT |
| 17" INSULATED |

S-1 | 343 SQUARE FEET

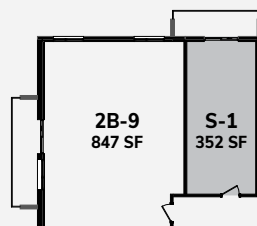


Square footage based on interior units in this module. Exterior units are 393 SQF.

Available in Module



381-01

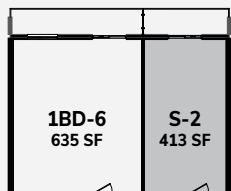


381-02

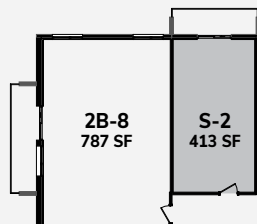
S-2 | 413 SQUARE FEET



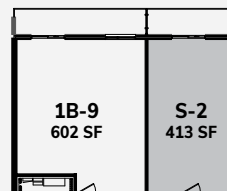
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381-03

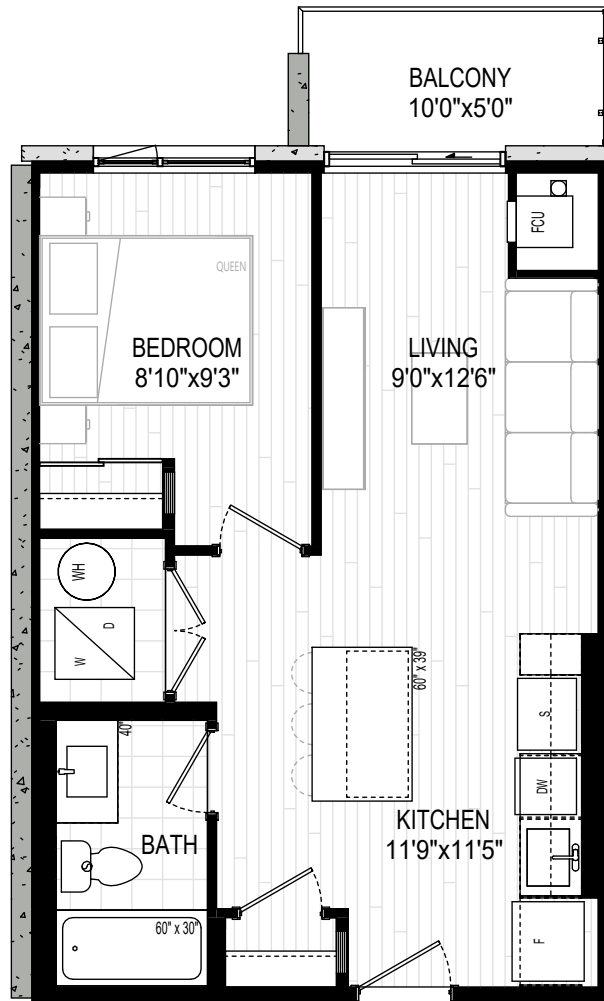


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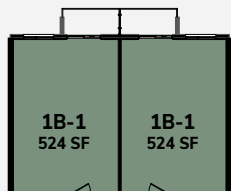


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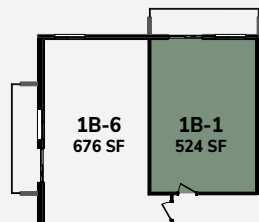
1B-1 | 524 SQUARE FEET



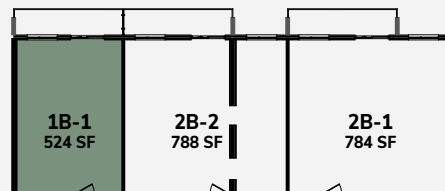
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381-06

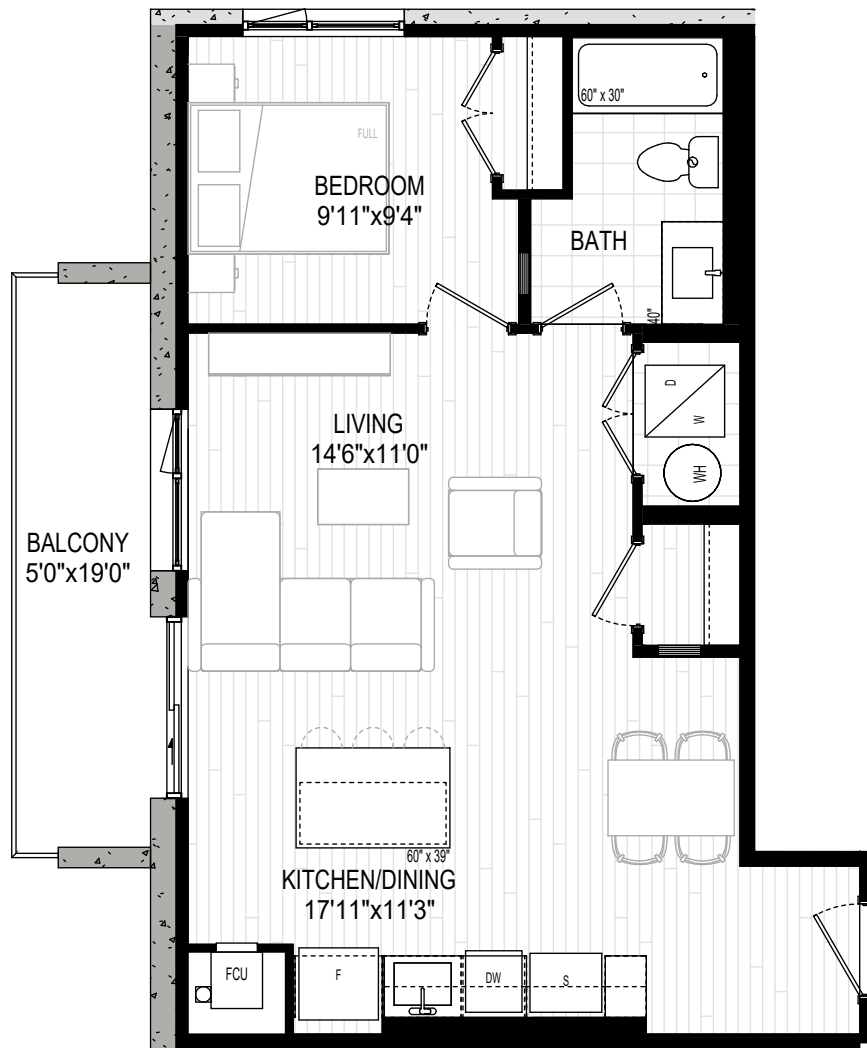


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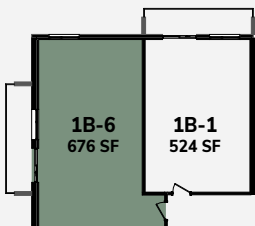


382-01

1B-6 | 676 SQUARE FEET

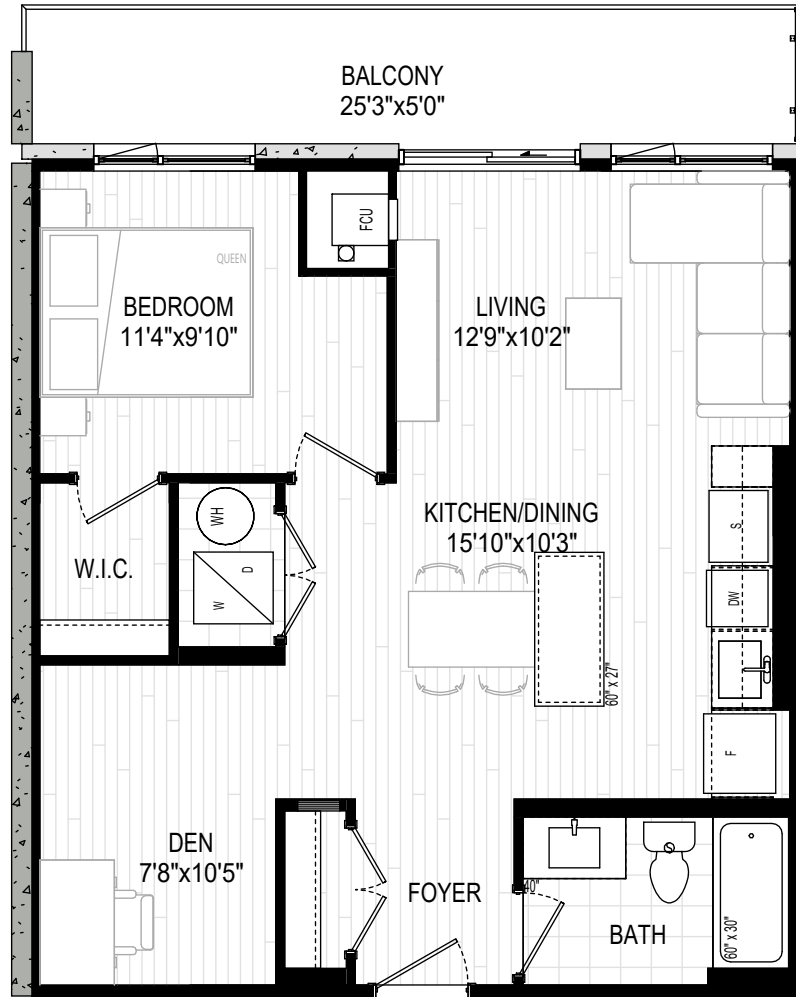


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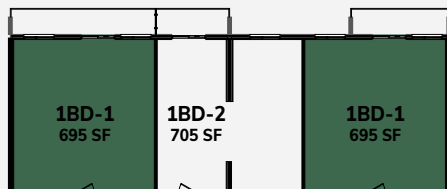


381-07

1BD-1 | 695 SQUARE FEET

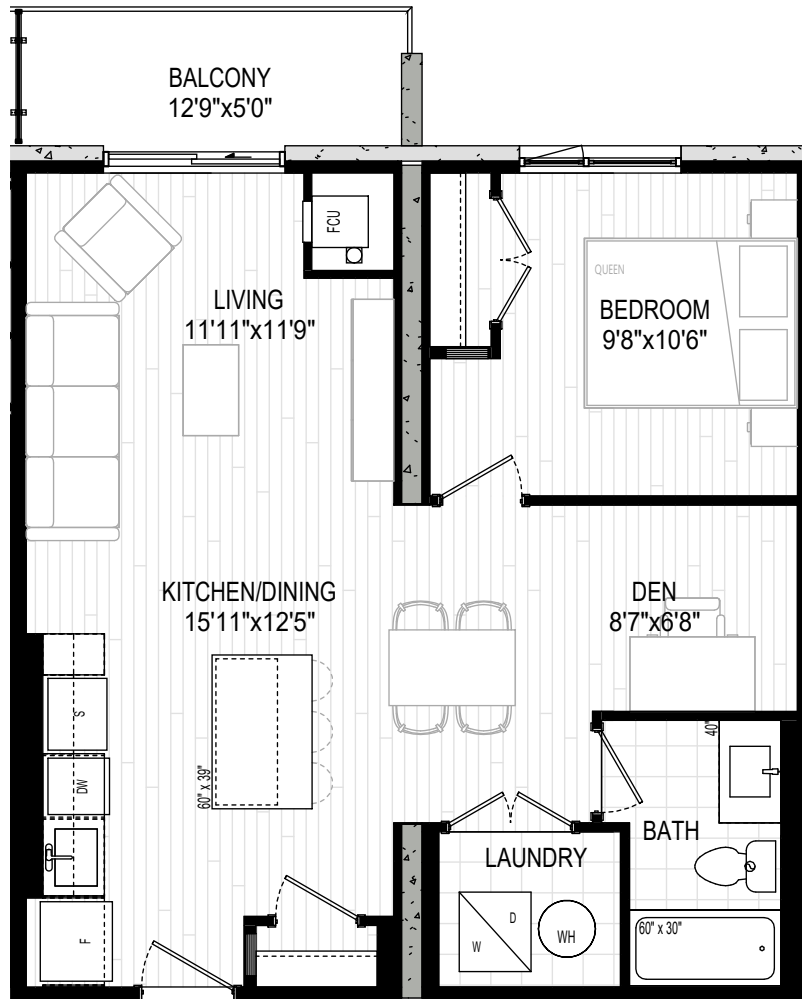


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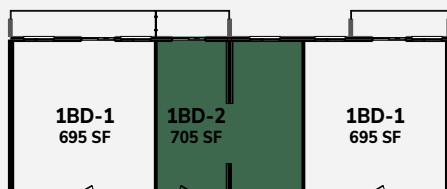


382-03

1BD-2 | 705 SQUARE FEET

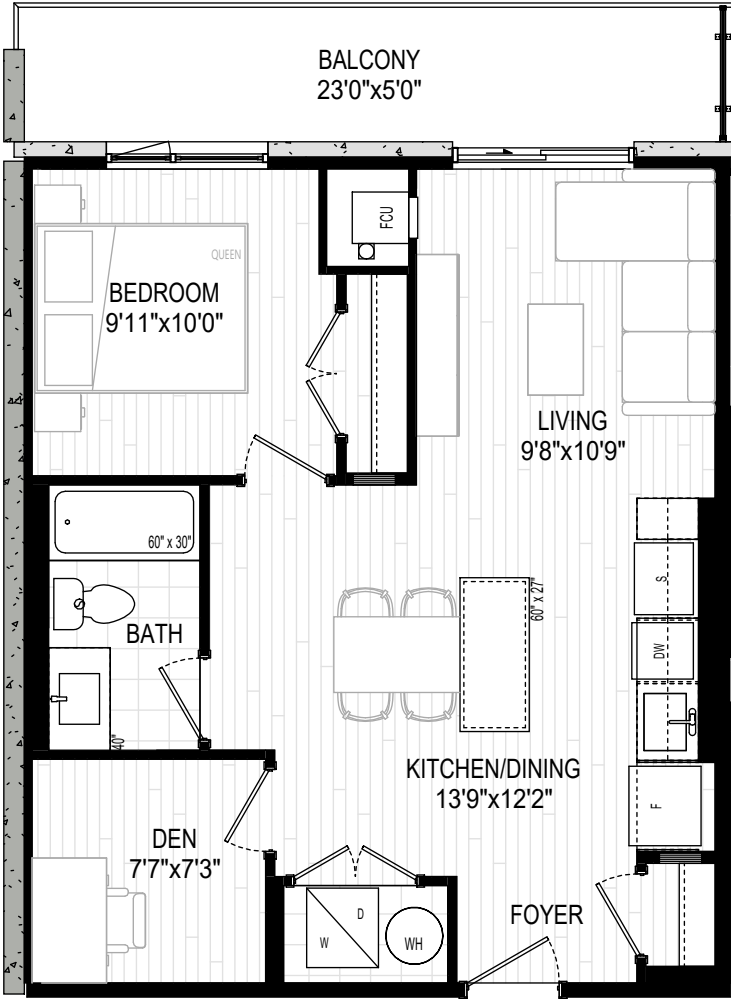


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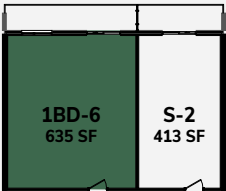


382-03

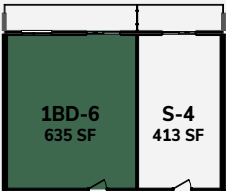
1BD-6 | 635 SQUARE FEET



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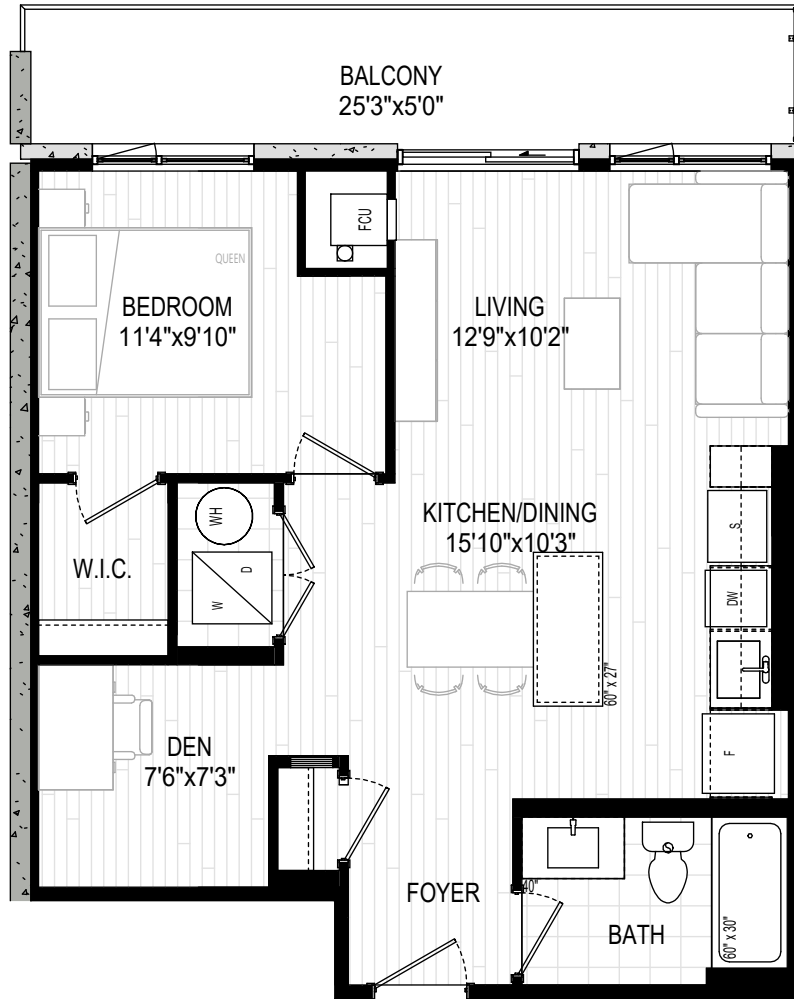


381-03

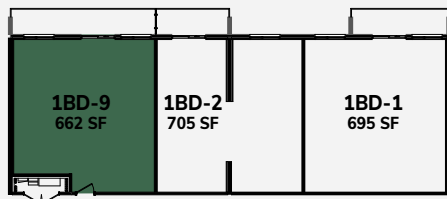


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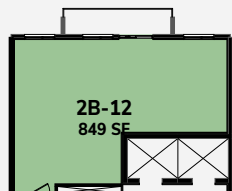
1BD-9 | 662 SQUARE FEET



Available in Module



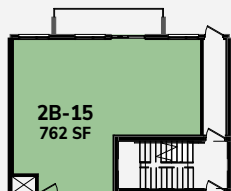
382-08



2B-15 | 749 SQUARE FEET

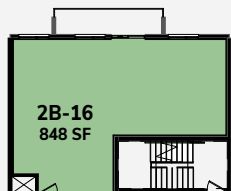


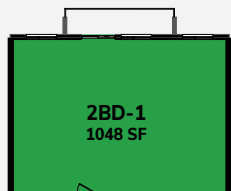
Available in Module



381-17

2B-16 | 834 SQUARE FEET





HARVEST VIEW

Project information:

Location: **1 Simcoe Street, Tilsonburg. Ontario**

Site Area: **40,462.36 m²**

Number of Buildings: **4**

Type of Building: **Mix Use - Commercial & Residential**

Number of units: **502**

Total parking spots: **639**

Parking Ratio: **1.27**

Building Height: **31.65 m**



SLESSOR GARDEN

Project information:

Location: **30, Niagara St, Grimsby, Ontario**

Site Area: **5,368.83 m²**

Number of Buildings: **1**

Type of Building: **Residential**

Number of units: **90**

Total parking spots: **113**

Parking Ratio: **1.25**

Building Height: **27.19 m**



THE DRUMMOND

Project information:

Location: **7129 Sharon Avenue, Niagara Falls, Ontario**

Site Area: **3,443 m²**

Number of Buildings: **1**

Type of Building: **Residential**

Number of units: **50**

Total parking spots: **63**

Parking Ratio: **1.26**

Building Height: **16.20 m**



LIVWELL WELLAND

Project information:

Location: **1002 Niagara Street, Welland, Ontario**

Site Area: **21,958.20 m²**

Number of Buildings: **4**

Type of Building: **Residential**

Number of units: **371**

Total parking spots: **343**

Parking Ratio: **0.92 m**

Building Height: **23.74 m**



Why Build Total Precast?

- **Speed of Erection**

Cladding walls, structural components and 8,000 square feet of hollowcore floor slabs can be installed in just one week.

- **High Quality**

Manufactured in CPCI certified facilities ensuring tighter tolerances than on site construction.

- **Design Assistance**

Our qualified and knowledgeable sales team will work with you to ensure you get the building you want, at the best possible price, while consulting with our engineering team throughout the process.

- **The Precast Advantage**

Superior fire ratings, acoustical control and durability over other building systems.

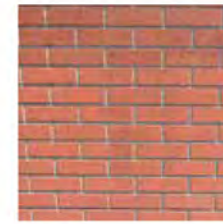
- **Safety**

Stubbe's Precast buildings ensure clean sites, eliminates trade interference as well as reducing the number of workers on-site. This results in less safety hazards and risks.

- **Accelerated Building Construction**

Substantial completion in less working days. Eliminate conflictions and delays between trades with one main structural trade allowing for continuous and uninterrupted installation.

Mold Liners & Finishes



Modular Brick



Modular Brick



Brick Multi Tonal



Brick Multi Tonal



Cast in Thin Brick



16 x 8 Block



Split Face Block



Drystack Fieldstone



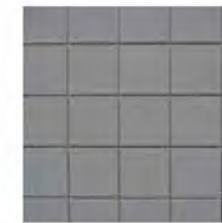
Ashler Stone



Multi Tonal Stone



Fluted Rib



Tile



Wood Grain



Wood Siding



Wood Plank



Textured Coating



Non-Textured Coating



White Cement



Reveals



Reveals

• Available in any colour! Please contact us for your colour options!

Further precast finishes are being worked on Today!
Contact us to learn more!



www.stubbes.org

www.stubbes.org

Installations

Products installed by Stubbe's Precast in house crews

Stubbe's Precast non-union installation teams include mobile cranes and tower crane operators.

Faster enclosed buildings with windows installed at Stubbe's plant.

All weather construction with minimal winter heat requirements.

Stubbe's Total Precast Package Includes:

- **Hollowcore Floor Slabs**
Clear spans up to 45' – 2 hour fire rating
- **Precast Balconies**
Solid concrete, broom finish – Sloped to exterior
- **Precast Stairs and Landings**
Finished top surface - High durability
- **Load Bearing Precast Walls**
58 STC Rating – Capable of supporting 30 plus storeys
- **Exterior Precast Cladding Walls**
Multiple finishes – Insulated options
- **Precast Columns and Beams**
Integral 2 hour fire rating – Architectural finishes available
- **Steel Beams and Lintels**
Flush ceiling framing where required
- **Architectural Cornices**
Custom profiles available
- **Caulking / Fire Proofing**
Exterior caulking - Interior fire proofing
- **Mechanical Openings**
Sleeving, Core drilling
- **Installation**
Completed by Stubbe's Precast own non-union installation crews

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Appendix IV
Zoning By-law Amendment



THE CORPORATION OF THE CITY OF WELLAND

BY-LAW NUMBER 2024-

BEING A BY-LAW TO AMEND CITY OF WELLAND ZONING BY-LAW

2017-117 (FILE NO.) 506 QUAKER ROAD

WHEREAS the Council of the Corporation of the City of Welland adopted By-law 2017-117 on the 17 day of October, 2017;

AND WHEREAS Subsection 1 of Section 34 of The Planning Act R.S.O. 1990, Chapter P.13 provides that local Councils may pass Zoning By-laws;

AND WHEREAS the Council of the Corporation of the City of Welland deems it Expedient to amend said Zoning By-law 2017-117.

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE CITY
OF WELLAND ENACTS AS FOLLOWS:**

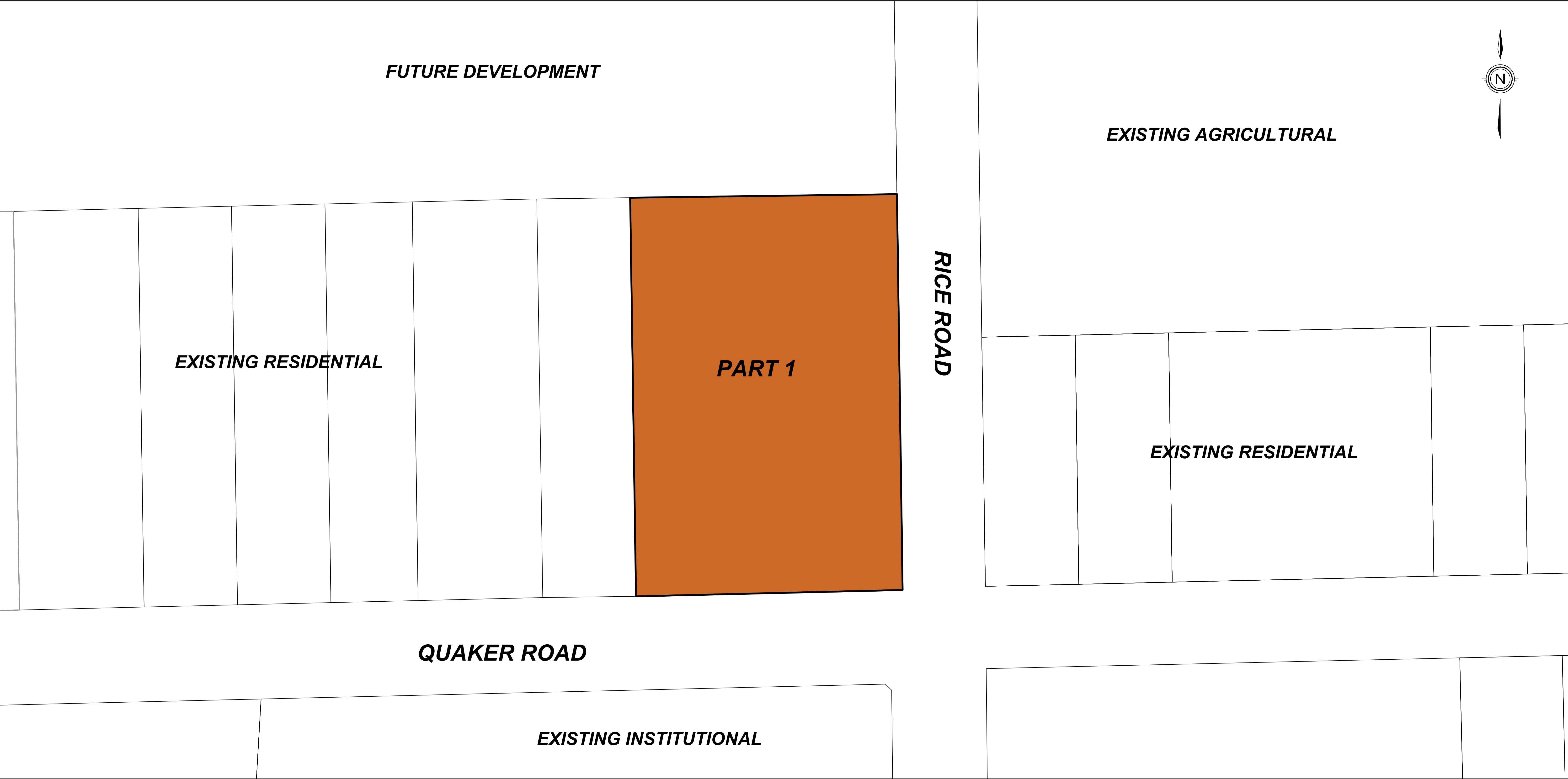
That Schedule "A" to By-law 2017-117 be and the same is hereby amended as follows:

1. The Lands that are the subject of and affected by the provisions of this by-law are described in Schedule A of this by-law and shall be referred as the "Lands". Schedule A is a part of this by-law.
2. The purpose of this by-law is to amend the provisions of By-law No. 2017-117, to permit the use of the Lands in a manner that would otherwise be prohibited by that by-law. In the case of any conflict between a specific provision of this by-law and any existing provision of By-law No. 2017-117, the provisions of this by-law are to prevail.
3. That the "Lands" on Schedule 1 to this by-law shown as the "Subject Lands" are hereby rezoned from "Rural Residential" (RR) to "Community Commercial Corridor" (CC2).
4. All other applicable regulations set out in By-law 2017-117 shall continue to apply to govern the permitted uses of the Lands.


READ A FIRST, SECOND AND THIRD TIME AND PASSED BY COUNCIL THIS ____ DAY OF _____, 2025.

MAYOR

CLERK



LEGEND

 **PART 1 - FROM RURAL RESIDENTIAL (RR) ZONE TO COMMUNITY COMMERCIAL CORRIDOR (CC2) ZONE**

506 QUAKER ROAD
SCHEDULE 'A' TO ZONING BY-LAW AMENDMENT No. ____

MAYOR: _____

CLERK: _____

